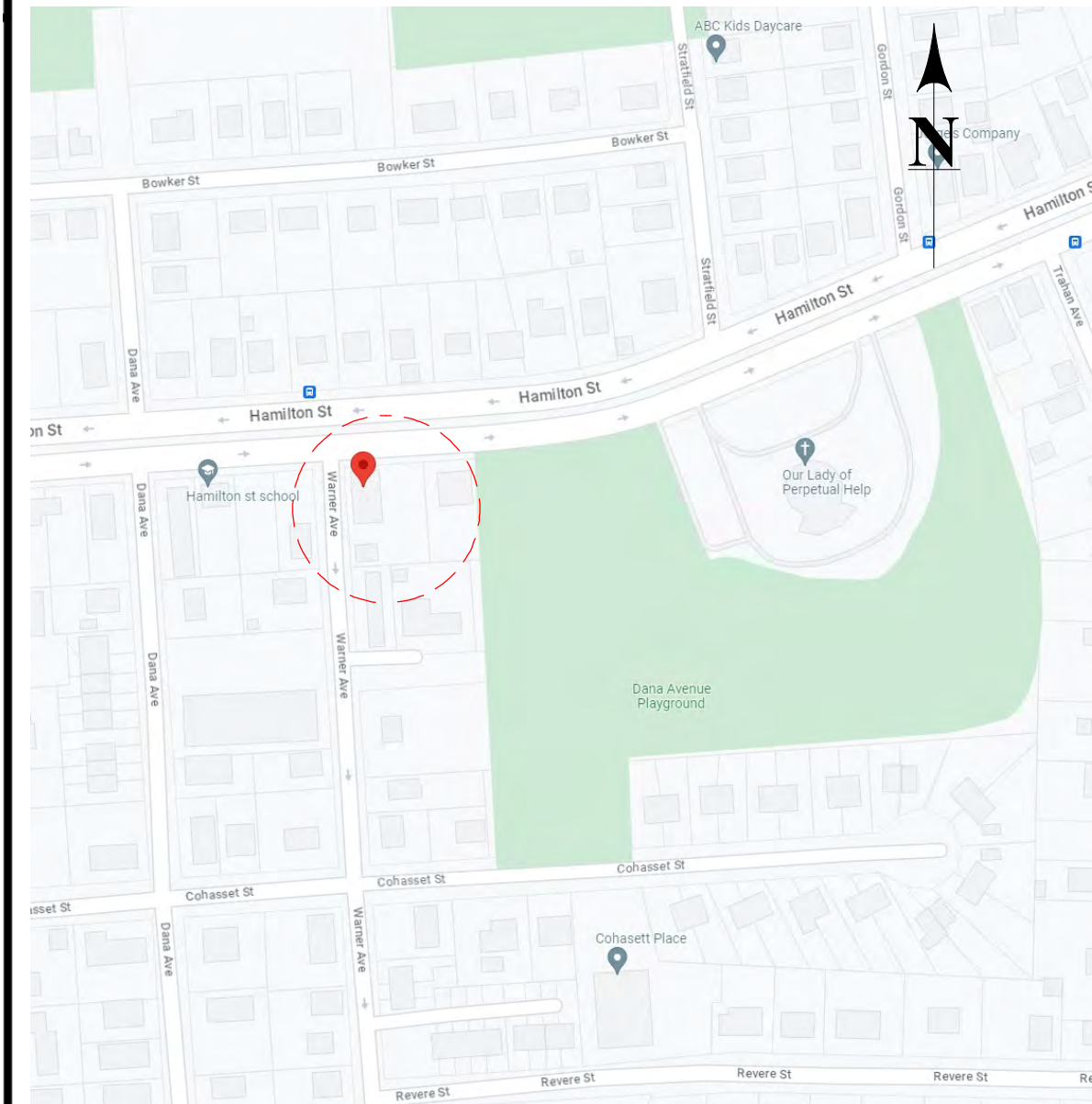


LOCUS MAP



ADDITION TO:
MULTI - FAMILY

214 HAMILTON ST
WORCESTER, MA

PROJECT NAME:
ADDITION

MULTI-FAMILY BUILDING

214 HAMILTON STREET
WORCESTER, MA



5 Brussels Street
Building A, Rear 2nd Floor
Worcester, MA 01610
(D) 774-262-3187
(O) 774-243-6161
Info@acropolisdesign.org



103 Palm Street 01605
Worcester, MA
Telephone: 508 859-8988
E-mail: D22Architect@aol.com

LEGEND

SYMBOLS	MATERIALS
SECTION	EARTH - LOAM
DETAIL	EARTH - FILL
EXTERIOR ELEVATION	GRAVEL
INTERIOR ELEVATION	SAND
DOOR INDICATION	CONCRETE
WINDOW INDICATION	CONCRETE MASONRY
PARTITION TYPE	BRICK
VERTICAL REF. POINT	BITUMINOUS CONCRETE
ROOM NUMBER	INSULATION
	RIGID INSULATION
	WOOD - FRAMING
	WOOD - FINISH
	ZIP PANEL SHEATHING
	ACOUSTICAL TILE
	STEEL
	ALUMINUM
	METAL - SMALL SCALE



BUILDING SUMMARY

LIST OF DRAWINGS

Label	Title
T-1	LOCUS MAP, LEGEND, PROJECT NARRATIVE & LIST OF DRAWINGS
T-2	GENERAL NOTES & TYPICAL MOUNTING HEIGHTS
T-3	CODE REVIEW & PATH OF TRAVEL
X-1	EXISTING CONDITIONS - FLOOR PLANS & ELEVATIONS
L-1	CONSERVATION COMMISSION - ORDER OF CONDITIONS
A-1	PROPOSED - FOUNDATION PLAN
A-2	SCOPE OF WORK - FIRST FLOOR PLAN
A-3	SCOPE OF WORK - SECOND FLOOR PLAN
A-4	SCOPE OF WORK - THIRD FLOOR PLAN
A-5	SCOPE OF WORK - FOURTH FLOOR PLAN
A-6	SCOPE OF WORK - ROOF PLAN
A-7	PROPOSED - RENDERINGS
A-8	SCOPE OF WORK - FRONT & LEFT ELEVATION
A-9	SCOPE OF WORK - RIGHT ELEVATION
A-10	SCOPE OF WORK - RIGHT ELEVATION
A-11	SCOPE OF WORK - REAR ELEVATION

REVISION TABLE		
NO.	DATE	DESCRIPTION

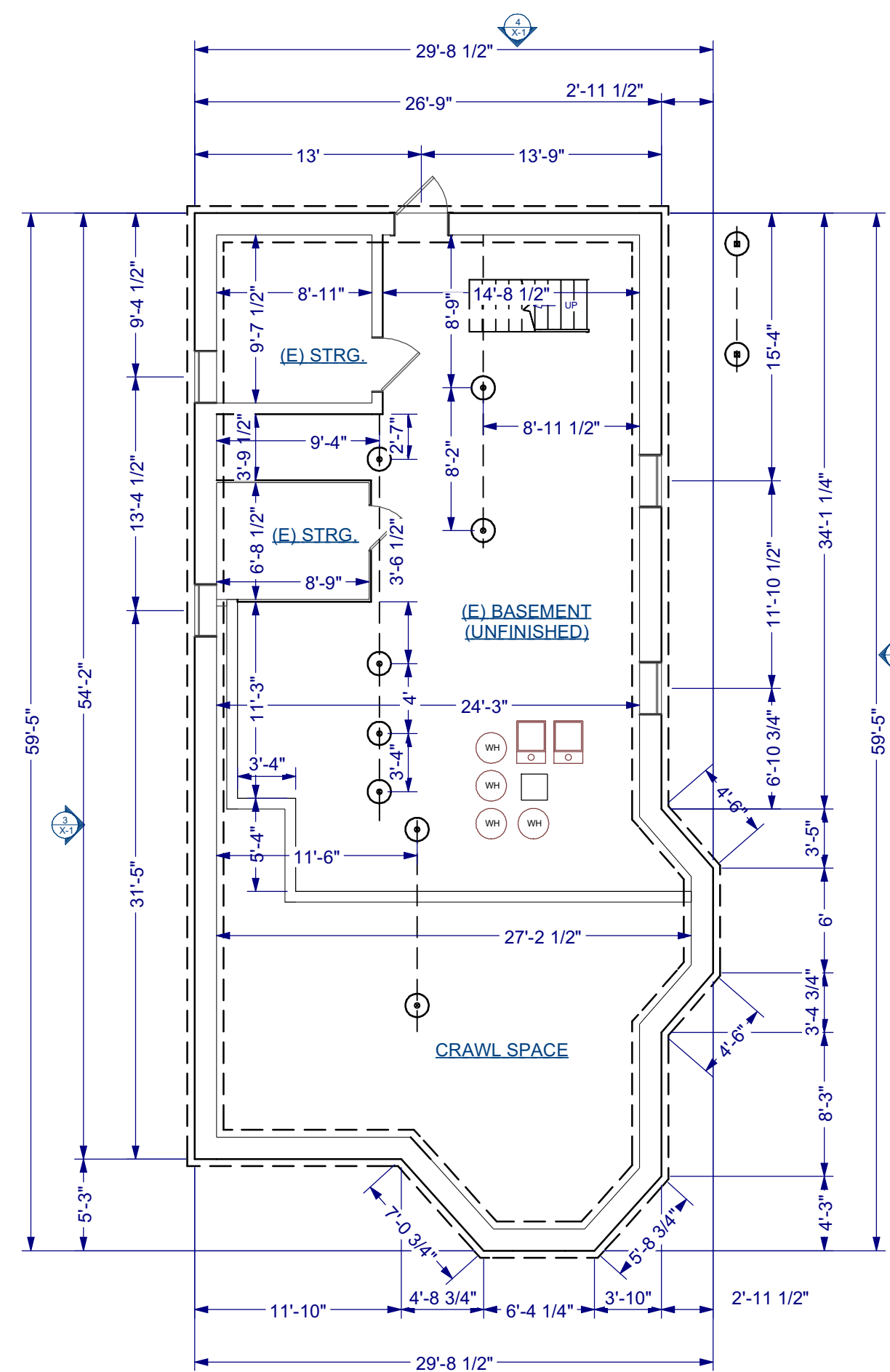
STAMP:

PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

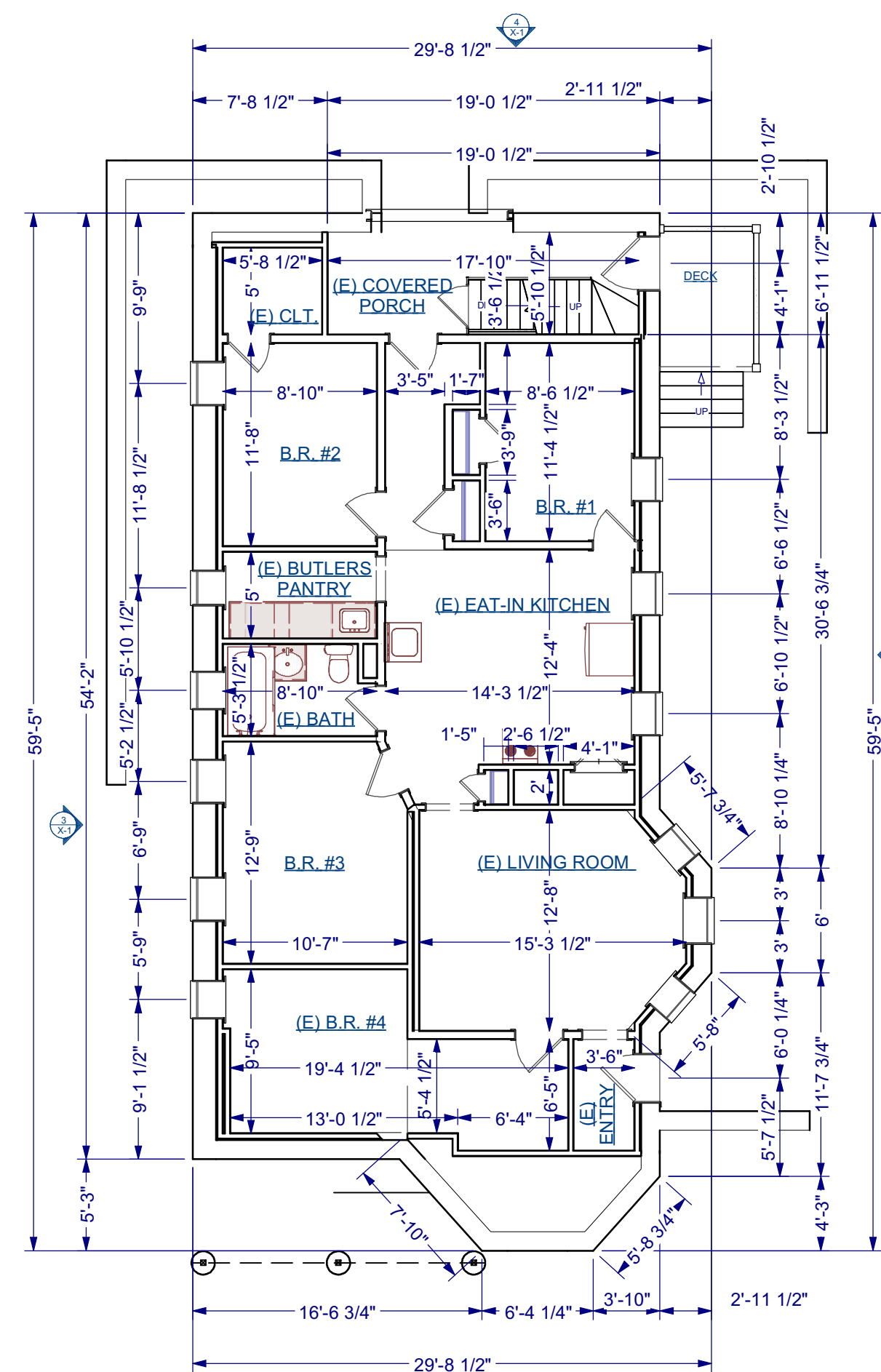
DRAWING NAME:
LOCUS MAP, LEGEND, PROJECT NARRATIVE & LIST OF DRAWINGS

PROJECT NUMBER: 22-115
DRAWN BY: RH/AA/DD
SCALE: AS NOTED
DATE: 2/26/2024

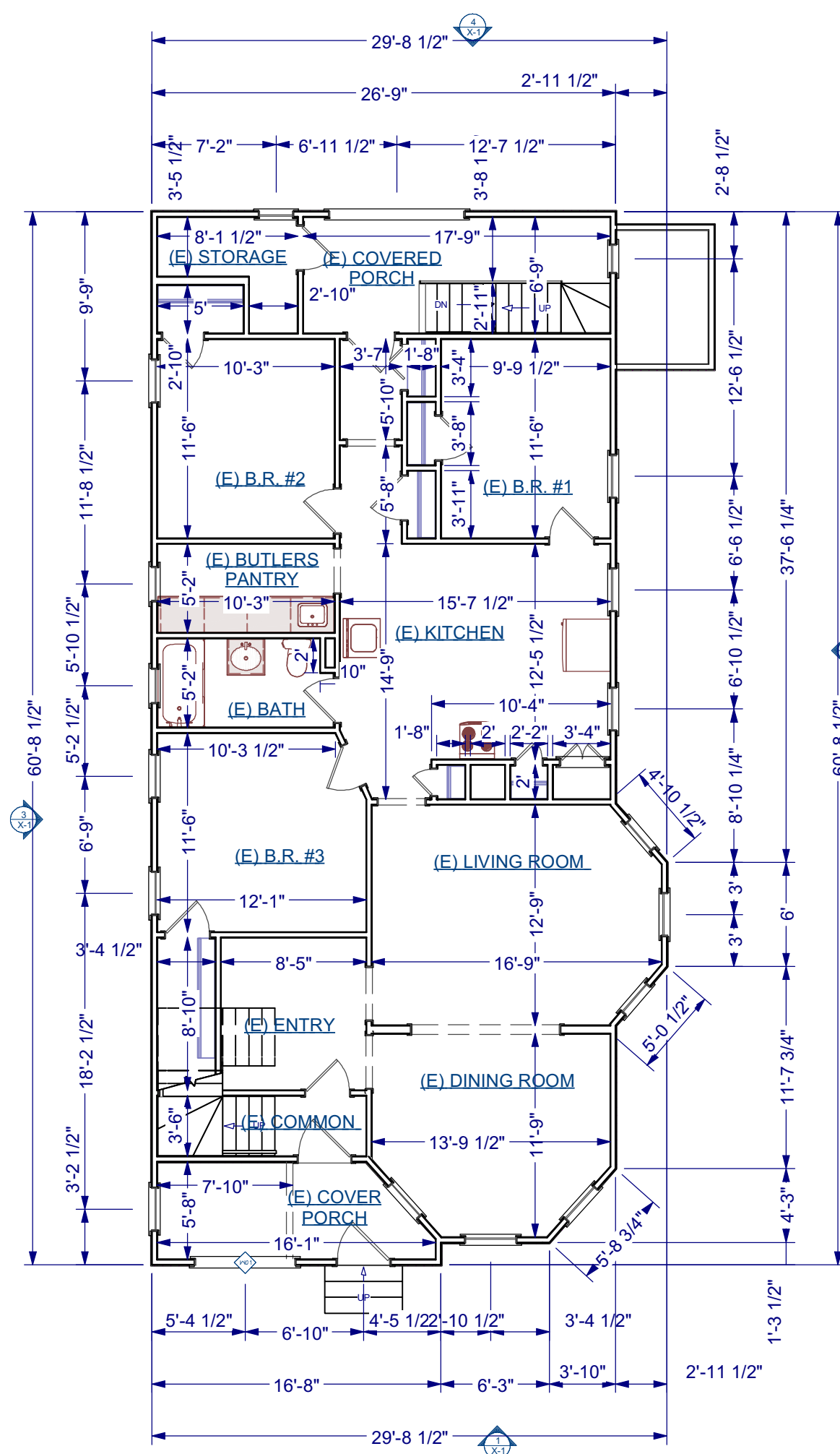
SHEET NUMBER:
T-1



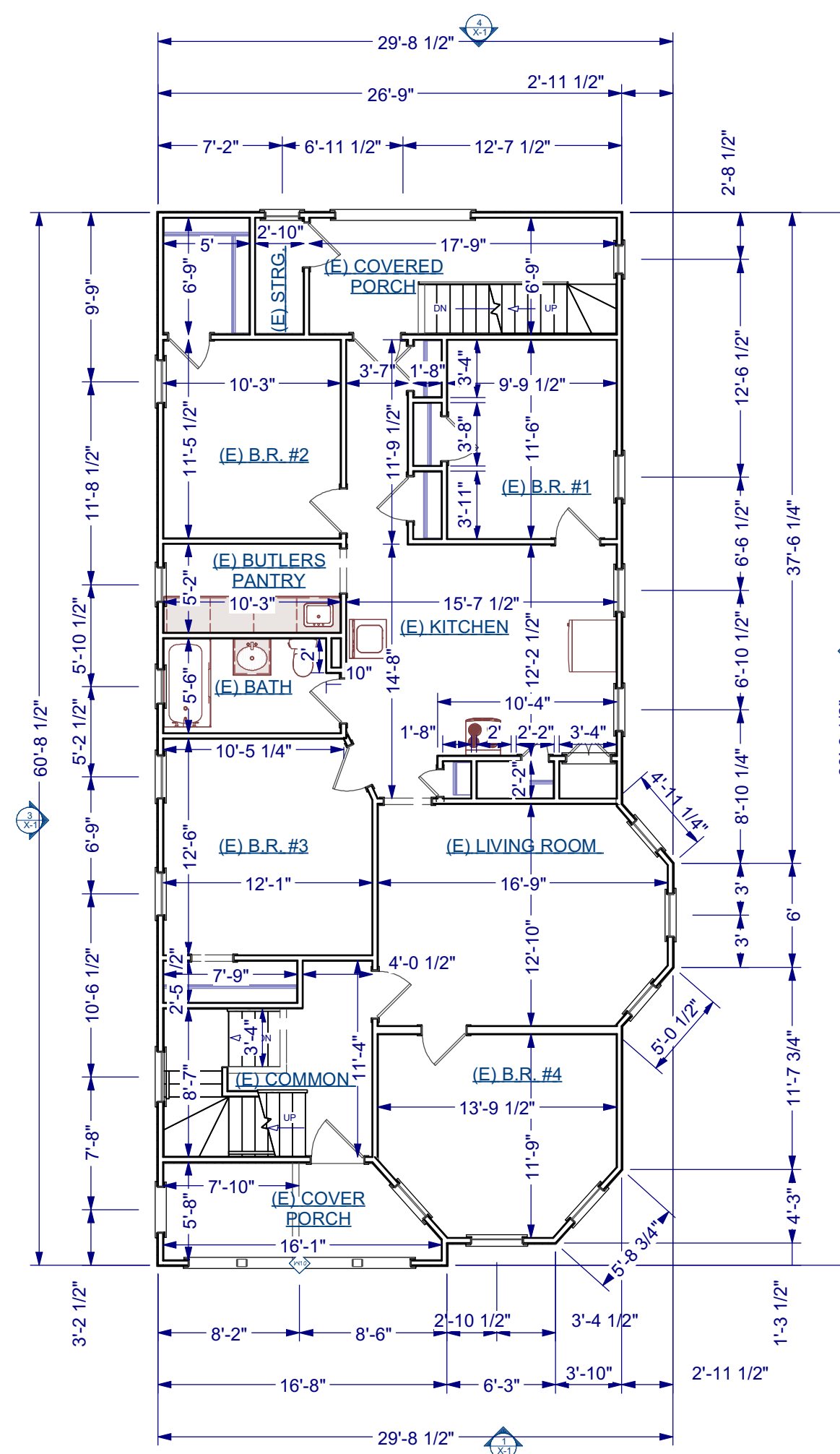
**EXISTING CONDITIONS
- BASEMENT PLAN**
SCALE: 1/8" = 1'-0"



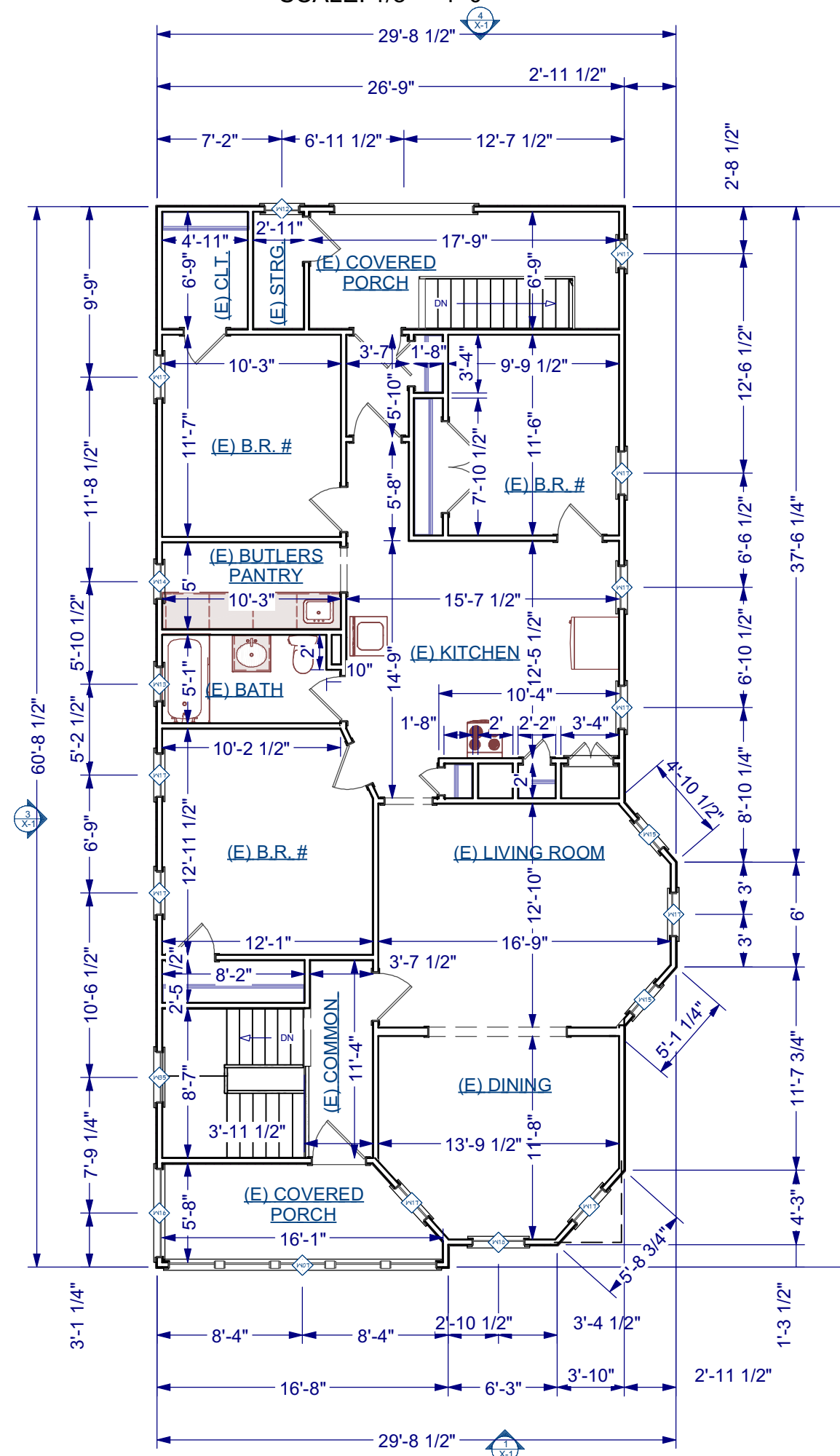
**EXISTING TO CONDITIONS
- FIRST FLOOR PLAN**
SCALE: 1/8" = 1'-0"



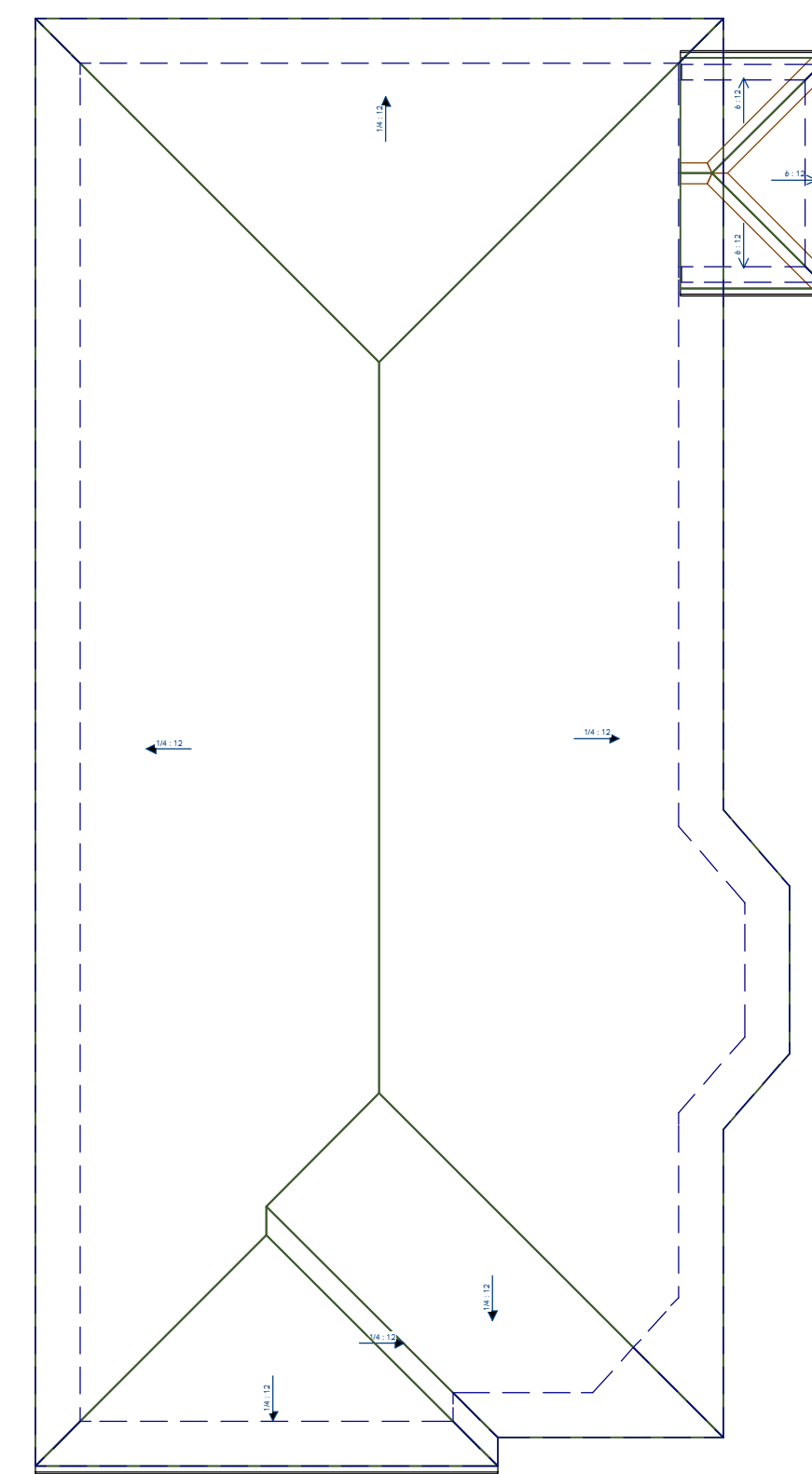
**EXISTING TO CONDITIONS
- SECOND FLOOR PLAN**
SCALE: 1/8" = 1'-0"



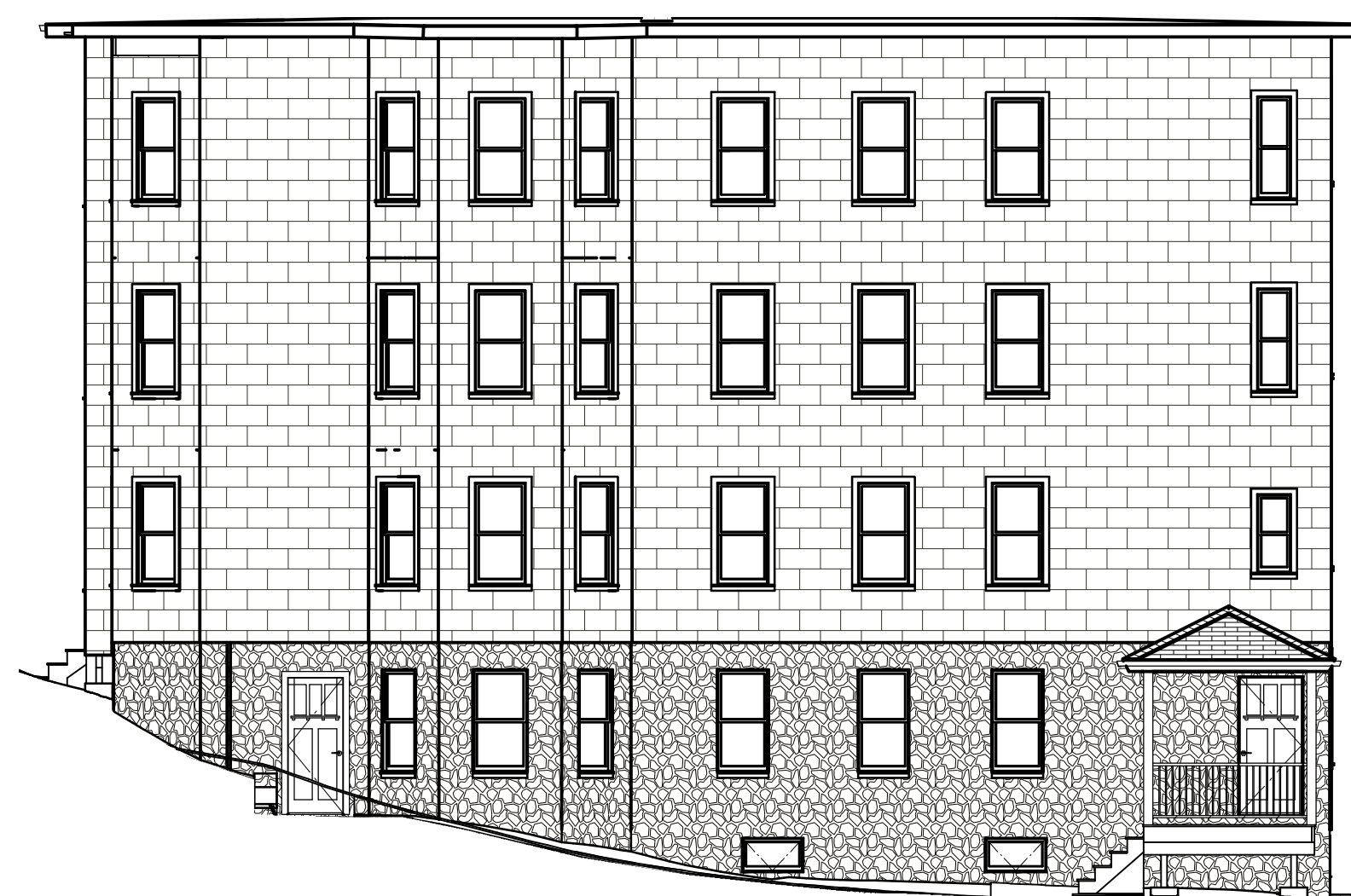
**EXISTING CONDITIONS
- THIRD FLOOR PLAN**
SCALE: 1/8" = 1'-0"



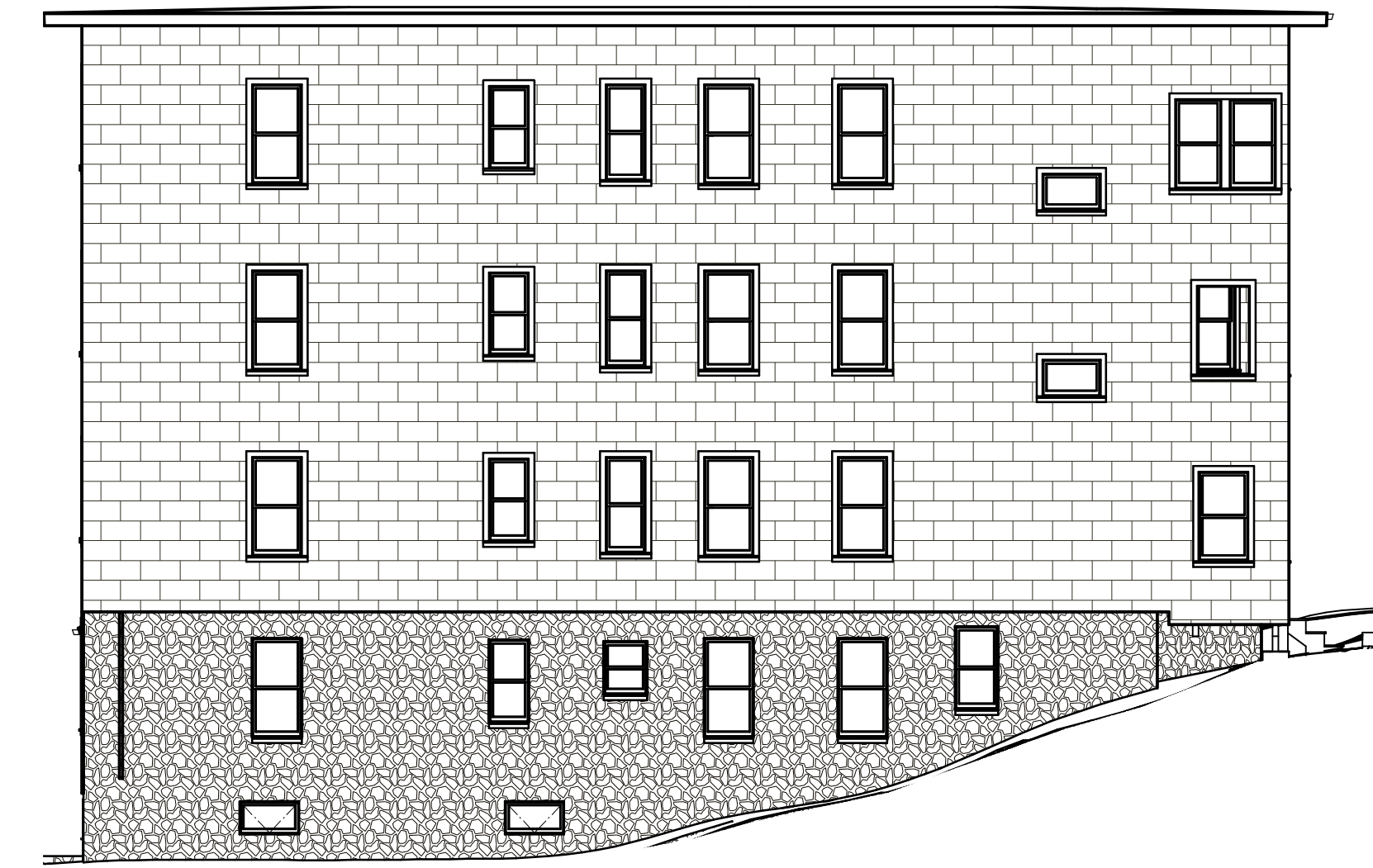
**EXISTING CONDITIONS
- FOURTH FLOOR PLAN**
SCALE: 1/8" = 1'-0"



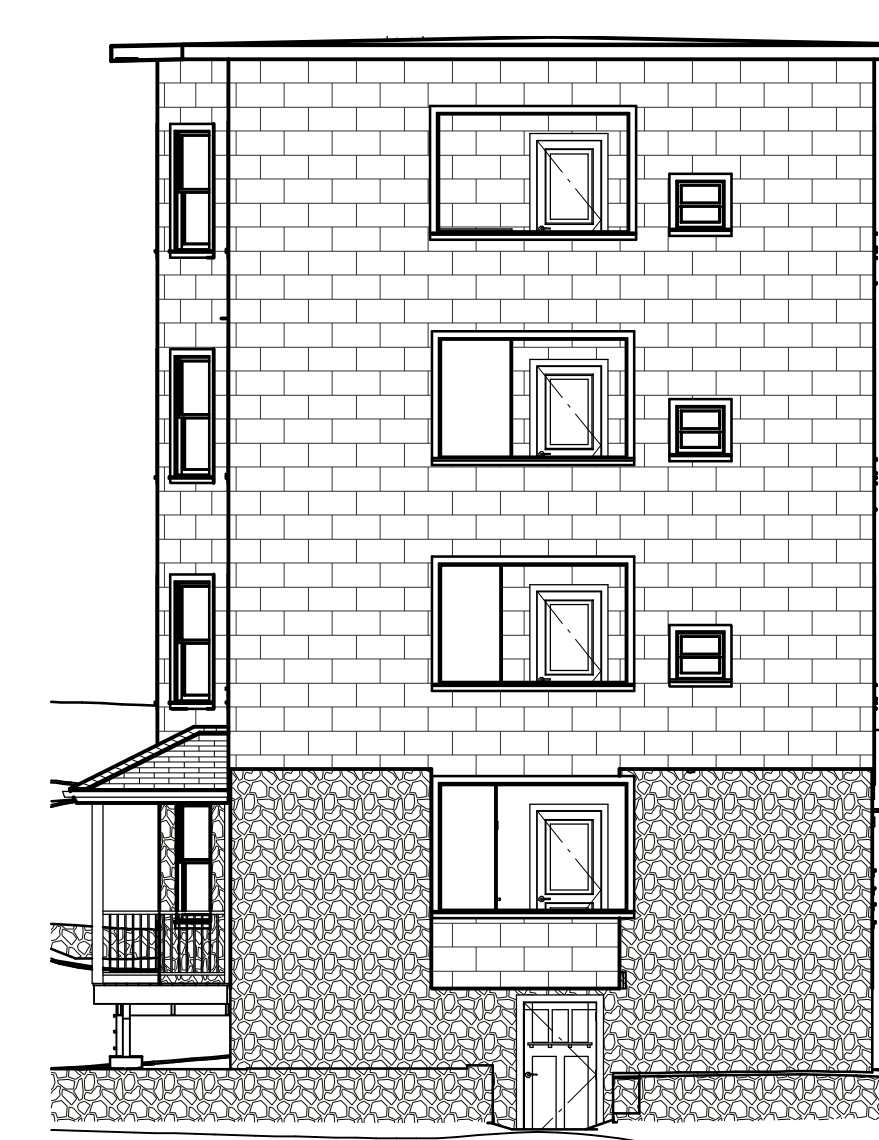
**EXISTING CONDITIONS
- ROOF PLAN**
SCALE: 1/8" = 1'-0"



**EXISTING TO CONDITIONS
- RIGHT ELEVATION**
SCALE: 1/8" = 1'-0"



**EXISTING CONDITIONS
- LEFT ELEVATION**
SCALE: 1/8" = 1'-0"



**EXISTING CONDITIONS
- REAR ELEVATION**
SCALE: 1/8" = 1'-0"



**EXISTING TO CONDITIONS
- FRONT ELEVATION**
SCALE: 1/8" = 1'-0"

PROJECT NAME:
ADDITION
MULTI-FAMILY BUILDING
214 HAMILTON STREET
WORCESTER, MA

ACROPOLIS
DESIGN CONSULTANTS
774-262-3187
5 Brussels Street
Building A, Rear 2nd Floor
Worcester, MA 01610
(D) 774-262-3187
(O) 774-243-6181
Info@acropolisdesign.org

Dimensions
Architecture / Design
100 Palm Street, 01605
Worcester, MA
Telephone: 508-850-8988
E-mail: D22Architect@aol.com

REVISION TABLE		
NO.	DATE	DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

DRAWING NAME:
EXISTING CONDITIONS - FLOOR PLANS & ELEVATIONS

PROJECT NUMBER: 22-115
DRAWN BY: RH/AA/DD
SCALE: AS NOTED
DATE: 2/26/2024

SHEET NUMBER:
X-1

City of Worcester, Massachusetts
Conservation Commission
Order of Conditions
CC-2023-078

City of Worcester Wetlands Protection Ordinance & Wetlands
Protection Regulations - September, 1990, as amended (City's
General Revised Ordinance Part I, Chapter 6)

A. General Information

1. From: City of Worcester
2. This instance is for (check one): Order of Conditions Amended Order of Conditions
3. To: Applicant: Klayman
4. Property Owner (if different from applicant):
5. Project Location: 214 Hamilton Street, Worcester, MA 01605

4. Project Description: To construct an addition, stormwater management infrastructure, parking area, utilities, and related site work.

7. Conservation Commission Review Trigger: The activities shall occur within the Stormwater Protection Zone.

8. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):
9. Dates: 1/16/2024
10. Final Approved Plans and Other Documents (attach additional plan or document references as needed):
11. Proposed Multi Family High Rise

B. Findings

11. Findings pursuant to the City of Worcester Wetlands Protection Ordinance:
Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the area in which work is proposed is significant to the following interests of the Wetlands Protection Ordinance. Check all that apply:

- Public Water Supply Erosion and Sedimentation Prevention of Pollution
- Private Water Supply Fisheries Production of Wildlife Habitat
- Groundwater Supply Storm Damage Prevention Flood Control

12. This Commission hereby finds the project, as proposed, is (check one of the following boxes)
Approved subject to:
13. The following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations: This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.

B. Findings (cont.)

Denied because:

- The proposed work cannot be conditioned to meet the performance standards set forth in the wetlands regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Ordinance, and a final Order of Conditions is issued. A description of the performance standards which the proposed work cannot meet is attached to this Order.
- The information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Ordinance's interests, and a final Order of Conditions is issued. A description of the specific information which is lacking and why it is necessary is attached to this Order.

C. General Conditions Under Wetlands Protection Ordinance

- The following conditions are only applicable to Approved projects.
- 1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
- 2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
- 3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
- 4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
a. the work is a maintenance dredging project as provided for in the Act; or
b. the time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
- 5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order.
- 6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on _____ unless extended in writing by the Department.
- 7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.

9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.

10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words "City of Worcester Conservation Commission File Number CC-2023-078."

11. Within thirty (30) days of completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance to the Conservation Commission.

12. The work shall conform to the plans and special conditions referenced in this order.

13. Any change to the plans identified in Condition #12 above shall require the applicant to require of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.

14. The Agent or members of the Conservation Commission shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submission of all data deemed necessary by the Conservation Commission or Department for that evaluation.

15. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.

16. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls if deemed necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work has been approved by this Order.

17. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

18. The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document): See Attachment A.

ATTACHMENT A
Worcester Conservation Commission
Special Order of Conditions

City of Worcester Wetlands Protection Ordinance & City of Worcester Wetlands Protection Regulations
(City of Worcester Revised Ordinance Part I, Chapter 6)
214 Hamilton Street (CC-2023-078)

Project Description: To construct an addition, stormwater management infrastructure, parking area, utilities, and related site work.

Findings/Waivers: n/a

Table of Contents:

I. Conditions to Meet Prior to and During Construction 2
II. Conditions to Meet Before the Start of Any Activity 2
III. Stormwater Management System 2
IV. Conditions to Meet During Construction 3
V. Conditions to Meet at Completion of Project 4
VI. General Conditions 5

Notes:

- Office of the Commission is located at the Division of Planning and Regulatory Services (455 Main Street 4th floor, Worcester, MA), which can be contacted by e-mailing planning@worcesterma.gov or calling 508-796-1400 ext. 3144.
- Asterisked (*) conditions are standard conditions of approval for all projects.

I. Conditions to Meet Prior to and During Construction

21. Person Responsible for Compliance with the Order of Conditions - A person shall be designated to be responsible to monitor compliance with the Order of Conditions. Their name and contact information (247) shall be provided to the Office of the Commission prior to start of any activity. This person shall conduct:
a) periodic inspections to assure the adequacy and continued effectiveness of erosion and sediment controls;
b) inspections of said controls following 0.5-inch or greater rain events, or after a heavy snow melt.

22. Contract - This Order of Conditions and all approved plans shall be included as part of any contract and subcontract and shall be posted in a prominently displayed location in the supervisory office on site during all phases of construction.

23. Notification - The applicant shall notify the Office of the Commission a minimum of 48 hours prior to the start of any activity.

II. Conditions to Meet Before the Start of Any Activity

24. Revised Stormwater Report - That a signed & stamped digital copy of a revised stormwater report, prepared by a professional engineer, shall be provided to the Office of the Commission prior to commencement of any work. Said report must demonstrate compliance with the Massachusetts Stormwater Handbook requirements and associated Stormwater Standards and shall incorporate the revised stormwater checklist and drainage calculations reflecting the changes to the stormwater infrastructure as shown on the approved plan with a revision date of 1/16/2024.

25. Pre-Construction Conference -

a) The Conservation Commission or its Agents shall conduct a pre-construction conference prior to commencement of activities in each phase of the project. Phasing, if any, shall conform to the approved plans.
b) The property owner / applicant and any person performing work that is subject to this Order are responsible for understanding and complying with the requirements of this Order, the Wetlands Protection Act, 310 CMR 10.00 and City of Worcester Wetlands Protection Ordinance and Regulations. Said persons shall acknowledge such in writing prior to commencement of activities.

26. Inspections Prior to Site Preparation and Site Work - Erosion and sediment controls shall be installed and verified, in compliance with final approved plans, by the Commission or its Agents prior to the commencement of any excavation, grubbing and/or stump of vegetation, grading, construction, or other site preparation.

27. Construction Schedule - Submit a Construction Schedule consistent with Work Sequencing plans provided to the Office of the Commission prior to the start of any activities.

III. Stormwater Management System

28. Catch Basins -

- a) The saved roadways and parking lots shall be bermed and shall be installed with standard City of Worcester catch basins.
- b) Prior to start of activity on site that causes soil erosion and sedimentation, catch basin filter traps shall be installed in the existing and new catch basins.
- c) Catch basins shall be cleaned as warranted during construction to keep them clear of sediment, and minimum twice a year thereafter.

29. Stormwater Management System Maintenance - The stormwater management system shall be maintained in accordance with the approved design plans and Operation and Maintenance Plan on file with the Office of the Commission. The system shall be maintained in good hydraulic condition (e.g. any accumulated silt/bedrock shall be removed; the system shall be kept free of any litter, refuse, or other extraneous matter, etc.). This condition shall extend in perpetuity beyond the issuance of the Certificate of Compliance.

IV. Conditions to Meet During Construction

30. Limit of Work - No removal, filling, dredging or altering of jurisdictional areas shall take place outside the approved work under this Order of Condition.

31. Work Sequencing - Activities shall take place in accordance with all phasing and sequencing shown on the plan and/or provided in the application materials on file with the Office of the Commission and shall follow any lot opening restrictions otherwise provided herein.

32. Fill Material - The fill material used at the location of the proposed subsurface infiltration unit shall be suitable so as to allow infiltration in accordance with the system's design.

33. Stormwater Infrastructure Certification - A registered Professional Engineer, currently licensed to practice within the Commonwealth of Massachusetts, shall provide a written certification that the stormwater system has been installed in substantial compliance with the approved plans and that the infrastructure functions as designed. Photos shall be included of the installed unit prior to backfill.

34. Erosion Stabilization -

a) Erosion and Sediment Controls - All erosion and sediment controls shall be monitored, maintained, and adjusted for the duration of the project to prevent adverse impacts to jurisdictional areas. Additional erosion and sediment controls may be utilized on site as needed.

b) Off-Site Impacts - There shall be no off-site erosion, flooding, ponding, or flood-related damage from runoff caused by the project activities.

c) Unanticipated Drainage or Erosion - The applicant shall control any unanticipated drainage and/or erosion conditions that may cause damage to jurisdictional areas and/or abutting or downstream properties. Said control measures shall be implemented immediately upon need. The Office of the Conservation Commission shall be notified if such conditions arise and of the measures utilized.

d) Soil Stabilization due to Delay in Work - If there is an interruption of more than 10, but less than 60 days between completion of grading and revegetation, the applicant shall sow all disturbed areas with annual ryegrass to prevent erosion. If soils are to be exposed for longer than 60 days, a temporary cover of yer or other grass should be established following US Soil Conservation Services procedures, as recently amended, to prevent erosion and sedimentation. Once final grading is complete, seeding and sowing of final cover should be completed promptly.

e) Grading of Slopes -

- i. <40% Slope - Slopes shall not exceed those specified in the plans approved by the Conservation Commission. Any slope equal to or greater than 40% (1 vertical to 2 1/2 horizontal) shall be stabilized with erosion control matting.
- ii. <40% Slope - Final grades of vegetated areas shall not exceed a slope of 1 vertical to 2 1/2 horizontal (40%) and shall be stabilized to prevent erosion, particularly during the construction period.

7) Stockpile Maintenance - Any stockpiling of loose materials shall be properly stabilized to prevent erosion and sedimentation of jurisdictional areas. Preventive controls such as strawbales or erosion control matting shall be implemented to prevent such an occurrence.

g) Stockpile Location - In no case shall any soil or excavated material be stockpiled within 50 feet of any wetland, floodplain, or storm drain inlet.

h) Site Stabilization Prior to Winter - Prior to winter, exposed soils shall be stabilized (e.g. with demarcated vegetative growth, impervious barriers, erosion control blankets, etc.)

35. Invasive Insects -

a) Plantings - No trees to be planted shall be species susceptible to the Asian Longhorned Beetle or Emerald Ash Borer.

b) Wood Removal - All tree, brush & wood removal shall adhere to the most recently amended requirements set forth by the Massachusetts Department of Conservation & Recreation for any project located in the Asian Longhorned Beetle Quarantine Zone.

36. Dust Control - Provisions for dust control shall be provided during construction and demolition activities. Such provisions shall be conducted in compliance with all City of Worcester Water Use Restrictions, if in effect, during such activities.

37. Dewatering - If dewatering is required,

a) Notice of such activities shall be given to the Office of the Commission within 24 hours of commencement.

b) There shall be no discharge of untreated dewatered stormwater or groundwater to jurisdictional areas either by direct or indirect discharge to existing drainage systems;

c) Any discharge to surface waters or drainage structures must be visibly free of sediment;

d) To the maximum extent practicable, proposed dewatering activities should be located outside of the 100' buffer. If such activities must be located within the 100' buffer, they shall be monitored at all times when the pumps are running;

e) Dewatering activities shall be confined within an area of secondary containment at all times.

38. Cement Truck Washing - Cement trucks shall not discharge wastewater effluent directly to any resource area, the 30' buffer thereon, or into any drainage system. Designated washout areas shall be located out of the 100' buffer zone or any wetland.

39. Spill Prevention -

a) No fuel, oil, or other pollutants shall be stored in any resource area or the buffer zone thereto, unless specified in this Order;

b) No refueling shall take place within resource areas or 100-ft to a resource area;

c) The applicant shall take all necessary precautions to prevent discharge or spillage of fuel, oil or other pollutants onto any part of the site;

d) A spill kit shall be present on site at all times.

V. Conditions to Meet at Completion of Project

40. Site Stabilization - All disturbed areas shall be properly stabilized with well-established perennial vegetation or other approved methods before the project is considered complete.

41. Erosion and Sediment Controls - Erosion and sediment controls shall not be removed from the site until all disturbed areas have been stabilized with final vegetative cover and approval has been received from the Commission or its Agents to do so. The controls must then be removed within two weeks of receipt of that certification.

42. Certificate of Compliance - Upon completion of the project, the applicant shall request in writing a Certificate of Compliance from the Commission. If the project has been completed in accordance with plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor, certification must include a written statement by such professional certifying the same.

a) A certified as-built plan-of-land shall be provided showing final grades, resource areas, and all constructed improvements;

43. Deed Condition - Conditions numbered 29 shall extend beyond the Certificate of Compliance, in perpetuity, and shall be referred to in all future deeds to this property.

VI. General Conditions

44. Change in Ownership - If a change in ownership takes place while this Order is still in effect, it is the responsibility of the new owner to notify the Commission of the change and to provide the name of the person responsible for compliance with the Order.

45. Conservation Agent's Power to Act - With respect to all conditions, except _____, the Conservation Commission designates the Conservation Agent, as its Agent with full powers to act in its behalf in administering and enforcing this Order, unless the Agent determines approval from the Commission is appropriate.

46. Right to Inspect - A member of the Conservation Commission or its Agent may enter and inspect the property and the activity that are the subjects of this Order at all reasonable times, with or without probable cause or prior notice, and until a Certificate of Compliance is issued, for the purpose of evaluating compliance with this Order (and other applicable laws and regulations).

47. Changes to the Plan or Errors & Omissions -

(a) If any plan, calculation, or other data presented to the Office of the Commission is in error or have omissions, and are deemed significant by the Commissioners or their Agents, all work will stop at the discretion of the Commission, until the discrepancies have been rectified to the Commission's satisfaction.

(b) The applicant must notify the Commission in writing of any changes in the plans or implementation of the proposed activity where mandated by any local, state, or federal agencies having jurisdiction over the proposed activity. If, in the opinion of the Commission, any changes in the plans or implementation of the proposed activity so require, then the Commission may modify, amend or rescind this Order in a way consistent with:

- M.G.L. Chapter 131, Section 40;
- 310 CMR 10.00, Wetlands Protection;
- the City of Worcester's Wetlands Protection Ordinance, and
- the Commission's Wetlands Protection Regulations

If any provisions of any conditions, or application thereof is held to be invalid, such invalidity shall not affect any other provisions of this Order. If the Commission deems that a proposed change is major or substantial, a new hearing may be required.

48. Liability - The applicant shall indemnify and save harmless the Commonwealth, the City of Worcester, the Conservation Commission, and its Agents against all suits, claims or liabilities of every name and nature arising at any time out of or in consequence of the acts of the Commission or its Agents in the performance of the work covered by this Order and/or failure to comply with the terms and conditions of this Order whether by itself or its employees or subcontractors.

C. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #6, from the date of issuance.

Please indicate the number of members who will sign this form.
This Order must be signed by a majority of the Conservation Commission.
3 Number of Signers

This Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered of the same time to the property owner, if different from applicant.

The names typed below represent the intent to sign the foregoing document in accordance with MGL Chapter 110G §9.

Duly authorized by Ch. 110G and recorded at Worcester Registry of Deeds in Book 62537 Page 325.

Signatures:

Devin Carlton
Joseph Champagne
Suzal Kishinev
Timothy Magraro
Lindsay Nystron
Andrew Turkus

by hand delivery on _____ by certified mail, return receipt requested, on 2/15/2024

D. Appeals

Appeal from a decision of the Conservation Commission shall be taken in accordance with law to the Superior Court or other body of competent jurisdiction. Any such appeal shall be taken within ten (10) days from the date from the receipt of such decision and shall not relieve the individual of the responsibility of taking an appeal to Department of Environmental Protection if such is required under said regulations.

No work may proceed until the appeal on the Commission's decision on a Notice of Intent has been decided and all appeal periods have elapsed.

E. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Conservation Commission
Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

Conservation Commission
Please be advised that the Order of Conditions for the Project at:

Project Location Conservation Commission File Number
Has been recorded at the Registry of Deeds of:

County Book Page
for: Property Owner
and has been noted in the chain of title of the affected property in:

Book Page
In accordance with the Order of Conditions issued on:

Date
If recorded land, the instrument number identifying this transaction is:

Instrument Number
If registered land, the document number identifying this transaction is:

Document Number
Signature of Applicant

ADDITION

MULTI-FAMILY BUILDING

214 HAMILTON STREET
WORCESTER, MA

ACROPOLIS DESIGN CONSULTANTS
774-262-3187

5 Brussels Street
Building A, Rear 2nd Floor
Worcester MA 01610
(D) 774-262-3187
(O) 774-243-6161
Info@acropolisdesign.org

Dimensions Design
Architecture / Design
100 Main Street 01605
Worcester, MA
Telephone: 508-880-8808
E-mail: D2D@architect-wc.com

REVISION TABLE

NO.	DATE	DESCRIPTION

STAMP:

PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

DRAWING NAME:

CONSERVATION COMMISSION - ORDER OF CONDITIONS

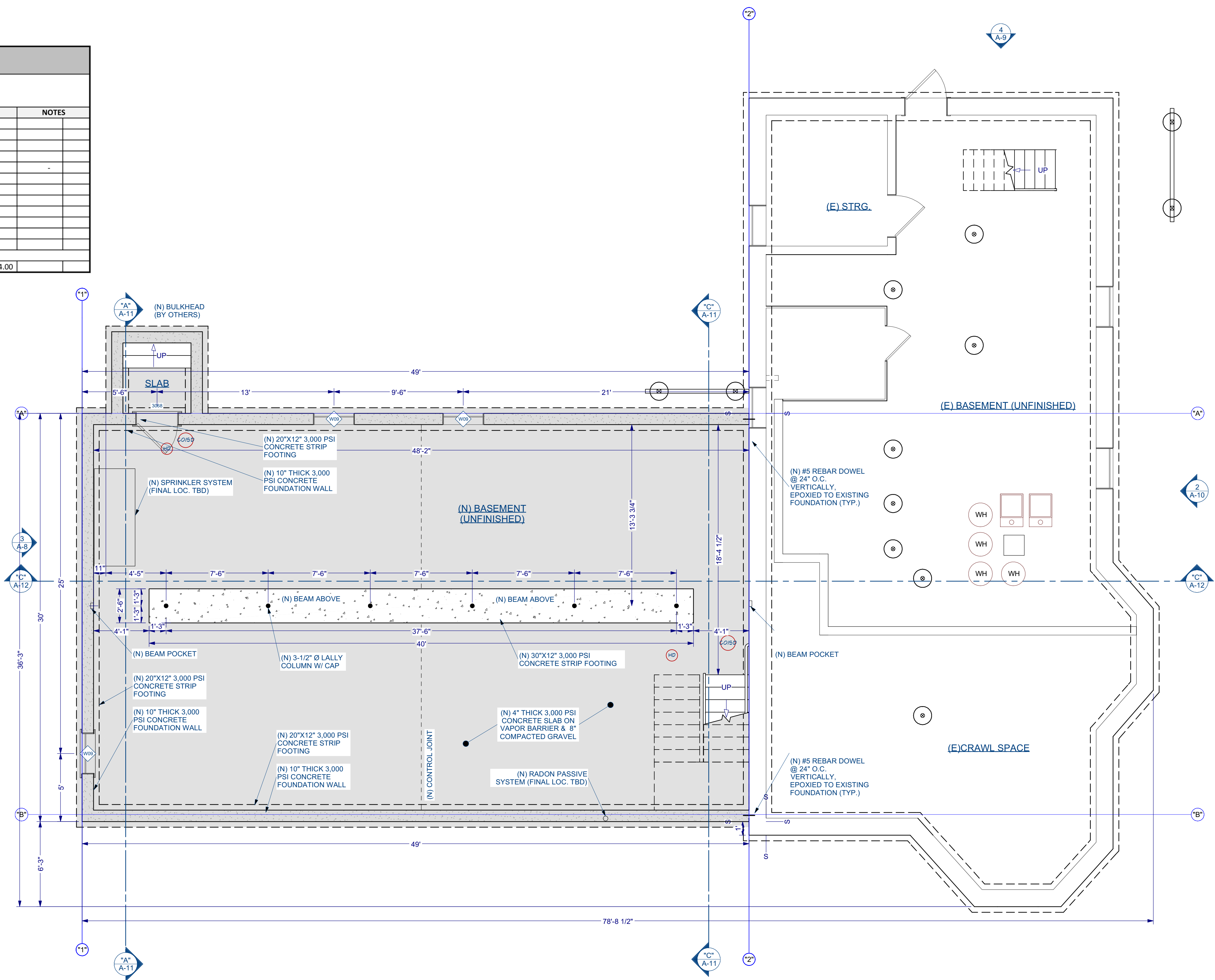
PROJECT NUMBER: 22-115 DRAWN BY: RH/AA/DD

SCALE: AS NOTED DATE: 2/26/2024

SHEET NUMBER:

L-1

214 HAMILTON ST., WORCESTER							
ZONE	RG-5						
USE	RESIDENTIAL						
TYPE	MULTI-FAMILY DWELLING, HIGH RISE						
DESCRIPTION	REQUIRED	UNIT	PROVIDED	ALLOWED	RELIEF	NOTES	
LOT MINIMUM AREA	5,000.00	SF	12,500.00	-	-		
LOT AREA, FIRST UNIT	5,000.00	SF	5,000.00	1.00	-		
LOT AREA ADDITIONAL PER UNIT	750.00	SF	7,000.00	7.00	-		
# OF UNITS ALLOWED PER ZONE	10.00	UNITS	8.00				
LOT FRONTAGE, FIRST UNIT:	50.00	FEET	65.00	1.00	-		
FRONTAGE PER ADDITIONAL UNIT	5.00	FEET	35	7.00			
YARD FRONT SETBACK	15.00	FEET	10'	20.00			
2ND FRONT SETBACK	10.00	FEET	6.90				
YARD SIDE SETBACK	10.00	FEET	10.80	10.00			
YARD REAR SETBACK	15.00	FEET	50.00	20.00			
MAXIMUM IN STORIES	3+		3				
HEIGHT MAX IN FEET	50.00	FEET	30.00				
FLOOR TO AREA RATIO	N/A						
PARKING SPACES PER UNIT	2.00	UNIT		10.00	14.00		



PROPOSED - FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

214 HAMILTON STREET
WORCESTER

AREA CALCULATION & BEDROOMS COUNT

LEVEL	UNIT	CONDITION	TYPE	AREA (SF)	SUB-TOTAL	TOTAL	BEDROOM	SUBTOTAL	TOTAL		
FIRST FLOOR	101	EXISTING	4-BEDROOM	1,148.03	1,148.03	11,511.78	4	7	26		
	102	NEW	3-BEDROOM	1,193.70	1,193.70						
SECOND FLOOR	201	EXISTING	3-BEDROOM	1,410.55	2,539.54						
	202	NEW	3-BEDROOM	1,128.99	1,128.99						
THIRD FLOOR	301	EXISTING	4-BEDROOM	1,678.99	2,607.98						
	302	NEW	3-BEDROOM	1,128.99	1,128.99						
FOURTH FLOOR	401	EXISTING	3-BEDROOM	1,478.40	2,607.39						
	402	NEW	3-BEDROOM	1,128.99	1,128.99						
1 COMMON AREAS				EXISTING	110.86		1,415.14				
2 COMMON AREAS				EXISTING	245.97						
3 COMMON AREAS				EXISTING	159.42						
4 COMMON AREAS				EXISTING	208.65						
1 COMMON AREAS				NEW	135.65						
2 COMMON AREAS				NEW	207.76						
3 COMMON AREAS				NEW	138.07						
4 COMMON AREAS				NEW	207.76						
TOTAL					11,511.78						

- NOTES:**
- ALL SMOKE & CARBON MONOXIDE DETECTORS TO BE HARD WIRED AND OF THE "PHOTOELECTRIC" TYPE AS PER CODE.
 - NEW LIFE SENSOR THROUGHOUT THE BUILDING. EXISTING SENSORS TO BE REMOVE AND REPLACE FOR NEW ONES TIED INTO THE SAME HARDWIRE SYSTEM AS THE NEW ADDITION.
 - ALL BATHROOM SHALL HAVE FAN/LIGHTS VENTED TO EXTERIOR AS PER CODE.
 - DIMENSIONS ARE FROM FACE TO FACE OF STUD
 - KITCHEN HOOD M1503.4 SIZE - MAKEUP AIR REQUIRED IF ABOVE 400 CFM
 - ALL DETECTION DEVICES MUST BE HARD WIRED AC POWER WITH BATTERY BACKUP

PROJECT NAME:
ADDITION
MULTI-FAMILY BUILDING
214 HAMILTON STREET
WORCESTER, MA

ACROPOLIS
DESIGN CONSULTANTS
774-262-3187
5 Brussels Street
Building A, Rear 2nd Floor
Worcester, MA 01610
(D) 774-262-3187
(O) 774-243-6161
Info@acropolisdesign.org

Dimensions
Architecture / Design
100 Palm Street, 01605
Worcester, MA
Telephone: 508-850-8888
E-mail: D22Architect@aol.com

REVISION TABLE	
NO.	DATE / DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

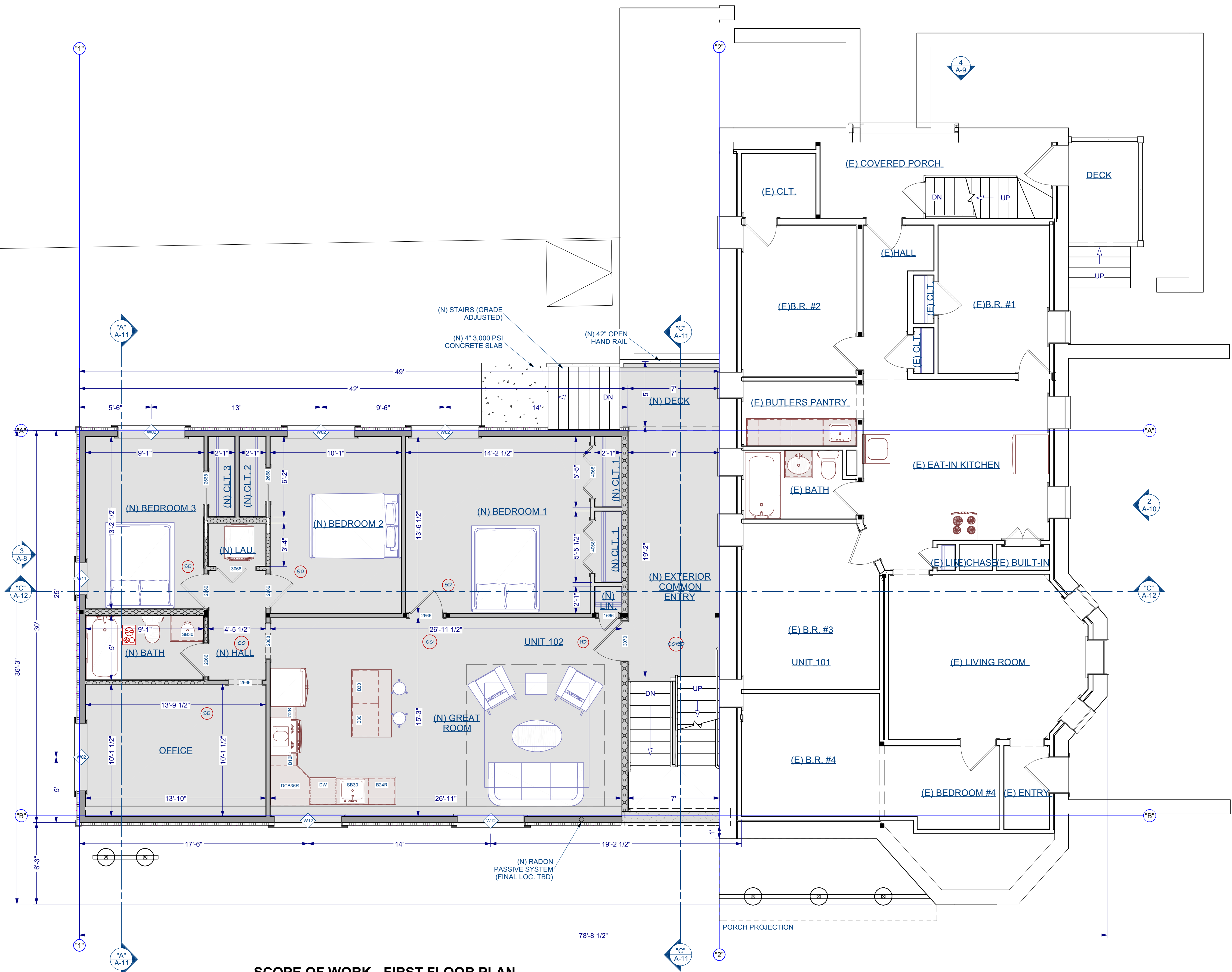
DRAWING NAME:
PROPOSED - FOUNDATION PLAN

PROJECT NUMBER: 22-115
DRAWN BY: RH/AA/DD
SCALE: AS NOTED
DATE: 2/26/2024

SHEET NUMBER:
A-1

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
SD	SMOKE DETECTOR 1	(N) INTERCONNECTED, HARD-WIRE & PHOTOELECTRIC
CO	CO DETECTOR	(N) INTERCONNECTED, HARD-WIRE
CO/SD	CO/SMOKE DETECTOR	(N) INTERCONNECTED, HARD-WIRE & PHOTOELECTRIC
HD	HEAT DETECTOR	(N) INTERCONNECTED, HARD-WIRE
	EXHAUST FAN + LIGHT + HEAT LAMP	FAN/LIGHT/HEAT VENT. TO EXTERIOR
	CAGED LANTERN SCNCE	TO OWNER/CONTRACTOR
HD	HEAT DETECTOR	
	BLOWN GLASS PENDANT	

WALL SCHEDULE		
2D SYMBOL	WALL TYPE	COMMENTS
	(E) EXTERIOR 2X4 SIDING	(E) 2X4 WOOD STUD @ 16" O.C. W/ (N) SIDING & R-10 RIDIG INSULATION
	(N) 10" CONCRETE STEM WALL	(N) 10" THICK 3,000 PSI CONCRETE FOUNDATION WALL W/ (1) # 5 REBAR AT TOP & (1) @ MID-HEIGHT, Ø PERFORATED PVC AS FILTER ON EXTERIOR CONNECTED TO STORM WATER SYSTEM, & DAMPROOFING BELOW GRADE
	(N) 2X6 EXTERIOR WALL	(N) 2X6 WOOD STUD @ 16" O.C. W/ SIDING, R-10 RIGID INSULATION ON 1/2" ZIP BOARD, R-20 CAVITY INSULATION, VAPOR BARRIER ON INTERIOR FACE AND FINISHES
	(N) 2X6 INTERIOR WALL, FIRE RATED	(N) 2X6 WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" ON ONE SIDE & GYPSUM BOARD ON THE OTHER SIDE. MINERAL WOOD INSULATION
	(N) 2X6 WET WALL	(N) 2X6 WOOD WALL @ 16" O.C. W/SOUND INSULATION, BLUE BOARD ON THE WET SIDE AND GYPSUM BOARD ON DRY SIDE
	ROOM DIVIDER	FOR AREA CALCULATION PURPOSES
	(N) 2X4 INTERIOR STUD WALL	(N) 2X4 STUD WALL @ 16" O.C. WITH G.W.B. ON EACH SIDE
	(N) 2X4 WET WALL	(N) 2X4 STUD WALL @ 16" O.C. WITH BLUE BOARD ON WET SIDE & GYPSUM BOARD ON DRY SIDE
	DECK RAILING/FENCE	TO OWNER / CONTRACTOR
	INTERIOR RAILING	TO OWNER / CONTRACTOR
	(N) 2X4 INTERIOR STUD WALL	FOR AREA CALCULATION PURPOSES
	DECK RAILING/FENCE	TO OWNER / CONTRACTOR



SCOPE OF WORK - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

214 HAMILTON STREET
WORCESTER

AREA CALCULATION & BEDROOMS COUNT

LEVEL	UNIT	CONDITION	TYPE	AREA (SF)	SUB-TOTAL	TOTAL	BEDROOM	SUBTOTAL	TOTAL
FIRST FLOOR	101	EXISTING	4-BEDROOM	1,148.03	2,341.73	11,511.78	4	7	26
	102	NEW	3-BEDROOM	1,193.70			3		
SECOND FLOOR	201	EXISTING	3-BEDROOM	1,410.55	2,539.54		3	6	
	202	NEW	3-BEDROOM	1,128.99			3		
THIRD FLOOR	301	EXISTING	4-BEDROOM	1,678.99	2,607.98		4	7	
	302	NEW	3-BEDROOM	1,128.99			3		
FOURTH FLOOR	401	EXISTING	3-BEDROOM	1,473.40	2,607.39		3	6	
	402	NEW	3-BEDROOM	1,128.99			3		
1 COMMON AREAS				EXISTING	110.86	1,415.14			
2 COMMON AREAS				EXISTING	245.97				
3 COMMON AREAS				EXISTING	159.42				
3 COMMON AREAS				NEW	208.65				
3 COMMON AREAS				EXISTING	135.65				
3 COMMON AREAS				NEW	207.76				
4 COMMON AREAS				EXISTING	138.07				
4 COMMON AREAS				NEW	207.76				
TOTAL						11,511.78			

- NOTES:**
- ALL SMOKE & CARBON MONOXIDE DETECTORS TO BE HARD WIRED AND OF THE "PHOTOELECTRIC" TYPE AS PER CODE.
 - NEW LIFE SENSOR THROUGHOUT THE BUILDING. EXISTING SENSORS TO BE REMOVE AND REPLACE FOR NEW ONES TIED INTO THE SAME HARDWIRE SYSTEM AS THE NEW ADDITION.
 - ALL BATHROOM SHALL HAVE FAN/LIGHTS VENTED TO EXTERIOR AS PER CODE.
 - DIMENSIONS ARE FROM FACE TO FACE OF STUD
 - KITCHEN HOOD M1503.4 SIZE - MAKEUP AIR REQUIRED IF ABOVE 400 CFM
 - ALL DETECTION DEVICES MUST BE HARD WIRED AC POWER WITH BATTERY BACKUP

REVISION TABLE

NO.	DATE	DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

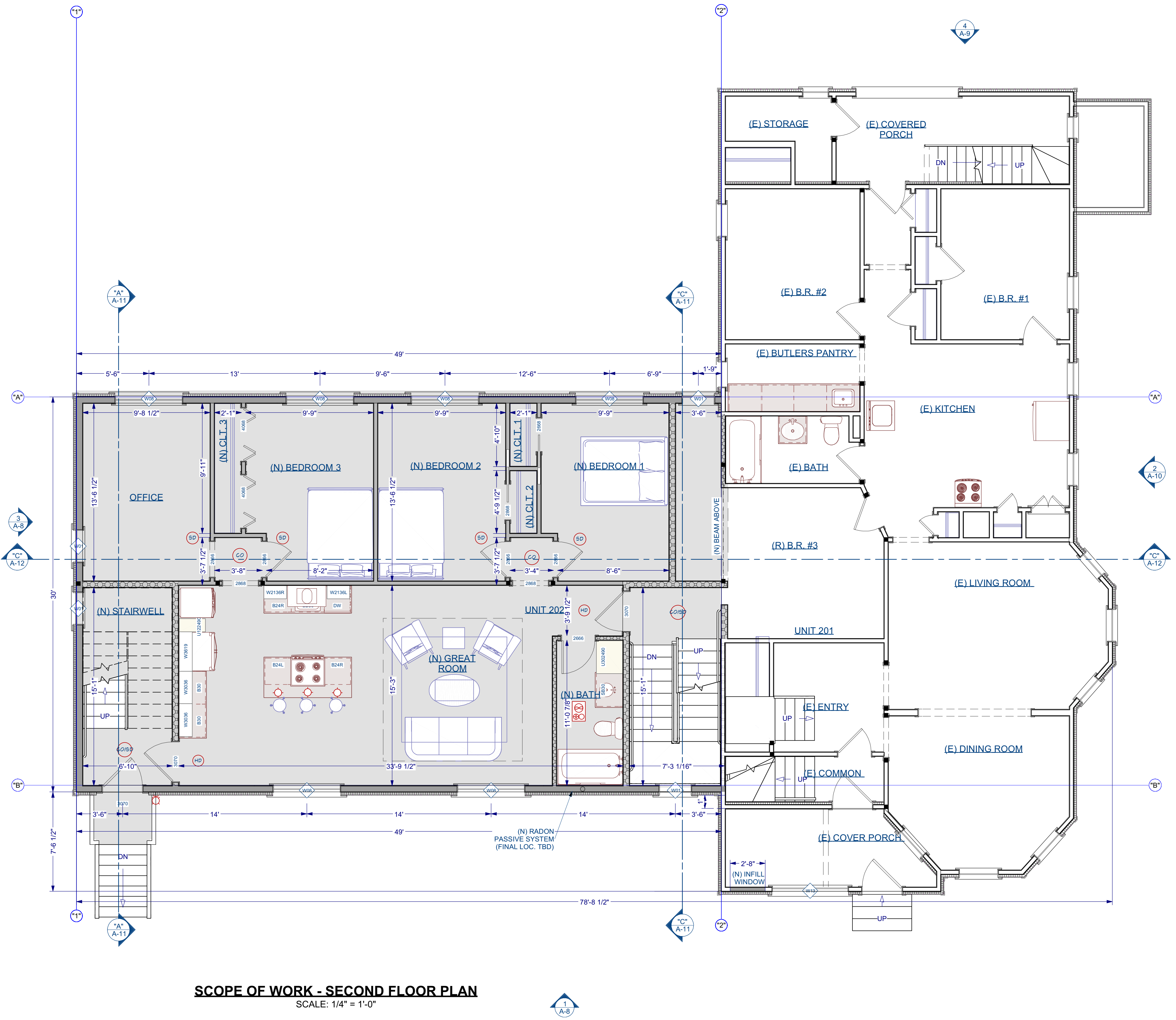
DRAWING NAME:
SCOPE OF WORK - FIRST FLOOR PLAN

PROJECT NUMBER: 22-115
SCALE: AS NOTED
DRAWN BY: RH/AA/DD
DATE: 2/26/2024

SHEET NUMBER:
A-2

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
SD	SMOKE DETECTOR 1	(N) INTERCONNECTED, HARD-WIRE & PHOTOELECTRIC
CO	CO DETECTOR	(N) INTERCONNECTED, HARD-WIRE
CO/SD	CO/SMOKE DETECTOR	(N) INTERCONNECTED, HARD-WIRE & PHOTOELECTRIC
HD	HEAT DETECTOR	(N) INTERCONNECTED, HARD-WIRE
	EXHAUST FAN + LIGHT + HEAT LAMP	FAN/LIGHT/HEAT VENT. TO EXTERIOR
	CAGED LANTERN SCNCE	TO OWNER/CONTRACTOR
HD	HEAT DETECTOR	
	BLOWN GLASS PENDANT	

WALL SCHEDULE		
2D SYMBOL	WALL TYPE	COMMENTS
	(E) EXTERIOR 2X4 SIDING	(E) 2X4 WOOD STUD @ 16" O.C. W/ (N) SIDING & R-10 RIDIG INSULATION
	(N) 10" CONCRETE STEM WALL	(N) 10" THICK 3,000 PSI CONCRETE FOUNDATION WALL W/ (1) #5 REBAR AT TOP & (1) @ MID-HEIGHT, Ø PERFORATED PVC AS FILTER ON EXTERIOR CONNECTED TO STORM WATER SYSTEM, & DAMPROFFING BELOW GRADE
	(N) 2X6 EXTERIOR WALL	(N) 2X6 WOOD STUD @ 16" O.C. W/ SIDING, R-10 RIGID INSULATION ON 1/2" ZIP BOARD, R-20 CAVITY INSULATION, VAPOR BARRIER ON INTERIOR FACE AND FINISHES
	(N) 2X6 INTERIOR WALL, FIRE RATED	(N) 2X6 WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" ON ONE SIDE & GYPSUM BOARD ON THE OTHER SIDE. MINERAL WOOD INSULATION
	(N) 2X6 WET WALL	(N) 2X6 WOOD WALL @ 16" O.C. W/SOUND INSULATION, BLUE BOARD ON THE WET SIDE AND GYPSUM BOARD ON DRY SIDE
	ROOM DIVIDER	FOR AREA CALCULATION PURPOSES
	(N) 2X4 INTERIOR STUD WALL	(N) 2X4 STUD WALL @ 16" O.C. WITH G.W.B. ON EACH SIDE
	(N) 2X4 WET WALL	(N) 2X4 STUD WALL @ 16" O.C. WITH BLUE BOARD ON WET SIDE & GYPSUM BOARD ON DRY SIDE
	DECK RAILING/FENCE	TO OWNER / CONTRACTOR
	INTERIOR RAILING	TO OWNER / CONTRACTOR
	(N) 2X4 INTERIOR STUD WALL	FOR AREA CALCULATION PURPOSES
	DECK RAILING/FENCE	TO OWNER / CONTRACTOR



SCOPE OF WORK - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

214 HAMILTON STREET
WORCESTER

AREA CALCULATION & BEDROOMS COUNT

LEVEL	UNIT	CONDITION	TYPE	AREA (SF)	SUB-TOTAL	TOTAL	BEDROOM	SUBTOTAL	TOTAL
FIRST FLOOR	101	EXISTING	4-BEDROOM	1,148.03	1,148.03	11,511.78	4	7	26
	102	NEW	3-BEDROOM	1,193.70	2,341.73		3		
SECOND FLOOR	201	EXISTING	3-BEDROOM	1,410.55	2,539.54		3	6	
	202	NEW	3-BEDROOM	1,128.99	3,128.99		3		
THIRD FLOOR	301	EXISTING	4-BEDROOM	1,678.59	2,607.98		4	7	
	302	NEW	3-BEDROOM	1,128.99	3,128.99		3		
FOURTH FLOOR	401	EXISTING	3-BEDROOM	1,473.40	2,607.39		3	6	
	402	NEW	3-BEDROOM	1,128.99	3,128.99		3		
	1	COMMON AREAS	EXISTING	110.86	245.97				
	2	COMMON AREAS	EXISTING	159.42	159.42				
	3	COMMON AREAS	EXISTING	208.65	208.65				
	4	COMMON AREAS	EXISTING	135.65	135.65				
			NEW	207.76	207.76				
			NEW	138.07	138.07				
			NEW	207.76	207.76				
			TOTAL			11,511.78			

- NOTES:**
- ALL SMOKE & CARBON MONOXIDE DETECTORS TO BE HARD WIRED AND OF THE "PHOTOELECTRIC" TYPE AS PER CODE.
 - NEW LIFE SENSOR THROUGHOUT THE BUILDING. EXISTING SENSORS TO BE REMOVE AND REPLACE FOR NEW ONES TIED INTO THE SAME HARDWIRE SYSTEM AS THE NEW ADDITION.
 - ALL BATHROOM SHALL HAVE FAN/LIGHTS VENTED TO EXTERIOR AS PER CODE.
 - DIMENSIONS ARE FROM FACE TO FACE OF STUD
 - KITCHEN HOOD M1503.4 SIZE - MAKEUP AIR REQUIRED IF ABOVE 400 CFM
 - ALL DETECTION DEVICES MUST BE HARD WIRED AC POWER WITH BATTERY BACKUP

REVISION TABLE	
NO.	DATE / DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

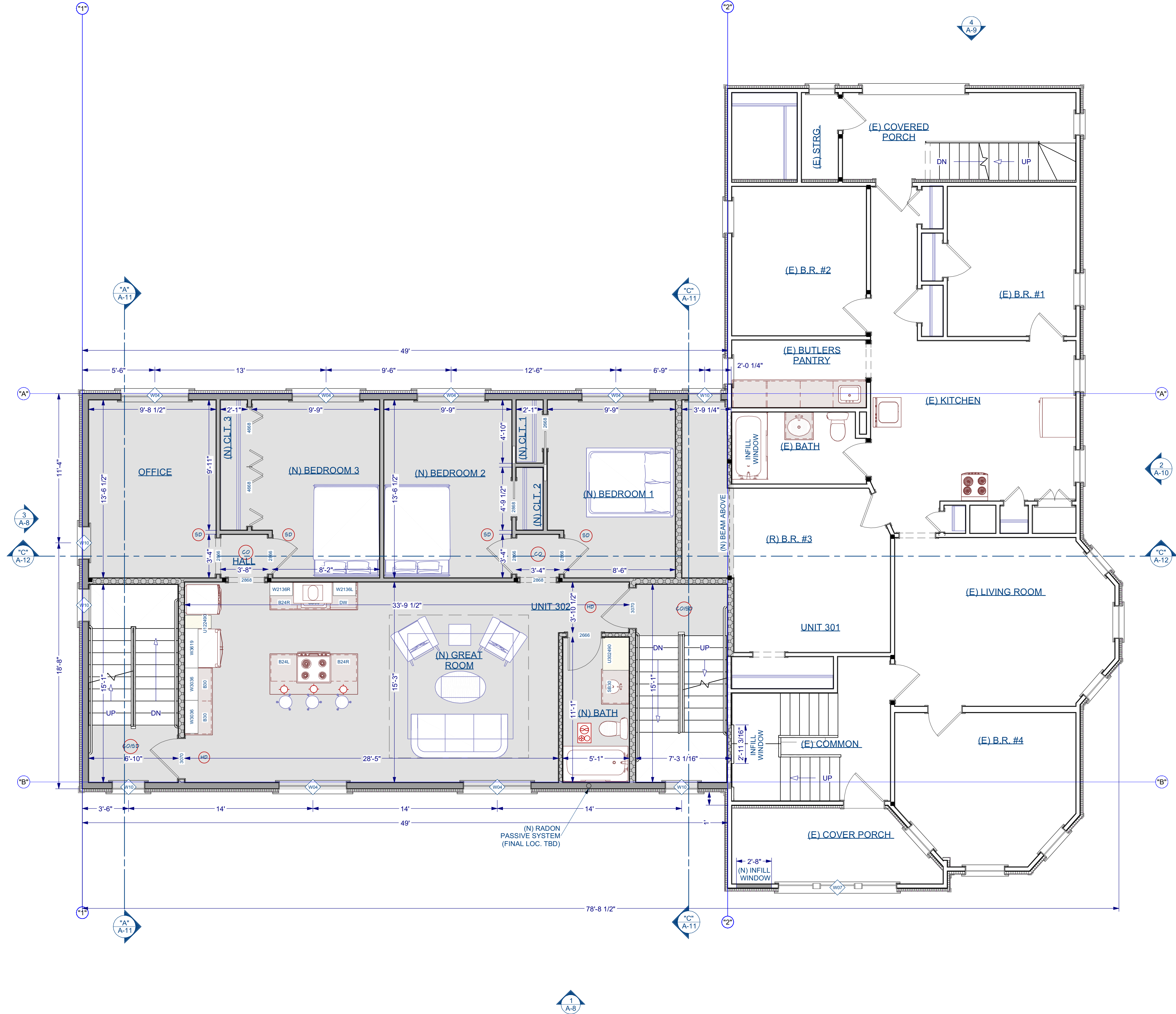
DRAWING NAME:
SCOPE OF WORK - SECOND FLOOR PLAN

PROJECT NUMBER: 22-115
DRAWN BY: RH/AA/DD
SCALE: AS NOTED
DATE: 2/26/2024

SHEET NUMBER:
A-3

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
SD	SMOKE DETECTOR 1	(N) INTERCONNECTED, HARD-WIRE & PHOTOELECTRIC
CO	CO DETECTOR	(N) INTERCONNECTED, HARD-WIRE
CO/SD	CO/SMOKE DETECTOR	(N) INTERCONNECTED, HARD-WIRE & PHOTOELECTRIC
HD	HEAT DETECTOR	(N) INTERCONNECTED, HARD-WIRE
	EXHAUST FAN + LIGHT + HEAT LAMP	FAN/LIGHT/HEAT VENT. TO EXTERIOR
	CAGED LANTERN SCNCE	TO OWNER/CONTRACTOR
HD	HEAT DETECTOR	
	BLOWN GLASS PENDANT	

WALL SCHEDULE		
2D SYMBOL	WALL TYPE	COMMENTS
	(E) EXTERIOR 2X4 SIDING	(E) 2X4 WOOD STUD @ 16" O.C. W/ (N) SIDING & R-10 RIDIG INSULATION
	(N) 10" CONCRETE STEM WALL	(N) 10" THICK 3,000 PSI CONCRETE FOUNDATION WALL W/ (1) #5 REBAR AT TOP & (1) @ MID-HEIGHT, Ø PERFORATED PVC AS FILTER ON EXTERIOR CONNECTED TO STORM WATER SYSTEM, & DAMPROOFING BELOW GRADE
	(N) 2X6 EXTERIOR WALL	(N) 2X6 WOOD STUD @ 16" O.C. W/ SIDING, R-10 RIGID INSULATION ON 1/2" ZIP BOARD, R-20 CAVITY INSULATION, VAPOR BARRIER ON INTERIOR FACE AND FINISHES
	(N) 2X6 INTERIOR WALL, FIRE RATED	(N) 2X6 WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" ON ONE SIDE & GYPSUM BOARD ON THE OTHER SIDE. MINERAL WOOD INSULATION
	(N) 2X6 WET WALL	(N) 2X6 WOOD WALL @ 16" O.C. W/SOUND INSULATION, BLUE BOARD ON THE WET SIDE AND GYPSUM BOARD ON DRY SIDE
	ROOM DIVIDER	FOR AREA CALCULATION PURPOSES
	(N) 2X4 INTERIOR STUD WALL	(N) 2X4 STUD WALL @ 16" O.C. WITH G.W.B. ON EACH SIDE
	(N) 2X4 WET WALL	(N) 2X4 STUD WALL @ 16" O.C. WITH BLUE BOARD ON WET SIDE & GYPSUM BOARD ON DRY SIDE
	DECK RAILING/FENCE	TO OWNER / CONTRACTOR
	INTERIOR RAILING	TO OWNER / CONTRACTOR
	(N) 2X4 INTERIOR STUD WALL	FOR AREA CALCULATION PURPOSES
	DECK RAILING/FENCE	



SCOPE OF WORK - THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

214 HAMILTON STREET
 WORCESTER

AREA CALCULATION & BEDROOMS COUNT

LEVEL	UNIT	CONDITION	TYPE	AREA (SF)	SUB-TOTAL	TOTAL	BEDROOM	SUBTOTAL	TOTAL		
FIRST FLOOR	101	EXISTING	4-BEDROOM	1,148.03	2,341.73	11,511.78	4	7	26		
	102	NEW	3-BEDROOM	1,193.70							
SECOND FLOOR	201	EXISTING	3-BEDROOM	1,410.55	2,539.54						
	202	NEW	3-BEDROOM	1,128.99							
THIRD FLOOR	301	EXISTING	4-BEDROOM	1,478.99	2,607.98						
	302	NEW	3-BEDROOM	1,128.99							
FOURTH FLOOR	401	EXISTING	3-BEDROOM	1,478.40	2,607.39						
	402	NEW	3-BEDROOM	1,128.99							
1 COMMON AREAS				EXISTING	110.86		1,415.14				
2 COMMON AREAS				EXISTING	245.97						
3 COMMON AREAS				EXISTING	159.42						
4 COMMON AREAS				EXISTING	208.65						
5 COMMON AREAS				EXISTING	135.65						
6 COMMON AREAS				NEW	207.76						
7 COMMON AREAS				EXISTING	138.07						
8 COMMON AREAS				NEW	207.76						
TOTAL						11,511.78					

- NOTES:**
- ALL SMOKE & CARBON MONOXIDE DETECTORS TO BE HARD WIRED AND OF THE "PHOTOELECTRIC" TYPE AS PER CODE.
 - NEW LIFE SENSOR THROUGHOUT THE BUILDING. EXISTING SENSORS TO BE REMOVE AND REPLACE FOR NEW ONES TIED INTO THE SAME HARDWIRE SYSTEM AS THE NEW ADDITION.
 - ALL BATHROOM SHALL HAVE FAN/LIGHTS VENTED TO EXTERIOR AS PER CODE.
 - DIMENSIONS ARE FROM FACE TO FACE OF STUD
 - KITCHEN HOOD M1503.4 SIZE - MAKEUP AIR REQUIRED IF ABOVE 400 CFM
 - ALL DETECTION DEVICES MUST BE HARD WIRED AC POWER WITH BATTERY BACKUP

REVISION TABLE		
NO.	DATE	DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

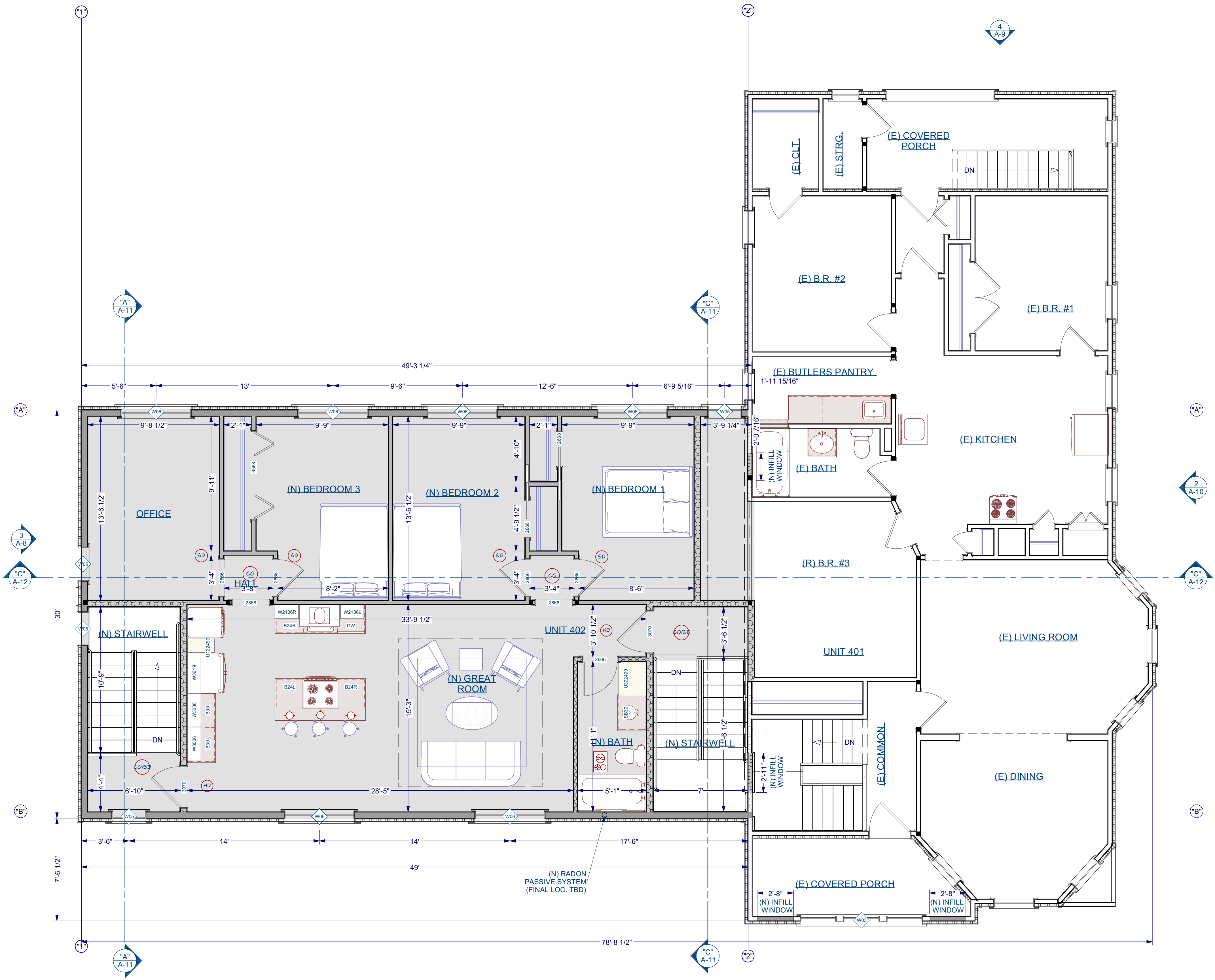
DRAWING NAME:
SCOPE OF WORK - THIRD FLOOR PLAN

PROJECT NUMBER: 22-115
 DRAWN BY: RH/AA/DD
 SCALE: AS NOTED
 DATE: 2/26/2024

SHEET NUMBER:
A-4

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
	SMOKE DETECTOR 1	(N) INTERCONNECTED, HARD-WIRE & PHOTOELECTRIC
	CO DETECTOR	(N) INTERCONNECTED, HARD-WIRE
	CO/SMOKE DETECTOR	(N) INTERCONNECTED, HARD-WIRE & PHOTOELECTRIC
	HEAT DETECTOR	(N) INTERCONNECTED, HARD-WIRE
	EXHAUST FAN + LIGHT + HEAT LAMP	FAN/LIGHT/HEAT VENT. TO EXTERIOR
	CAGED LANTERN SCENCE	TO OWNER/CONTRACTOR
	HEAT DETECTOR	
	BLOWN GLASS PENDANT	

WALL SCHEDULE		
2D SYMBOL	WALL TYPE	COMMENTS
	(E) EXTERIOR 2X4 SIDING	(E) 2X4 WOOD STUD @ 16" O.C. W/ (N) SIDING & R-10 RIDIG INSULATION
	(N) 10" CONCRETE STEM WALL	(N) 10" THICK 3,000 PSI CONCRETE FOUNDATION WALL W/ (1) #5 REBAR AT TOP & (1) @ MID-HEIGHT, Ø PERFORATED PVC AS FILTER ON EXTERIOR CONNECTED TO STORM WATER SYSTEM, & DAMPROFFING BELOW GRADE
	(N) 2X6 EXTERIOR WALL	(N) 2X6 WOOD STUD @ 16" O.C. W/ SIDING, R-10 RIGID INSULATION ON 1/2" ZIP BOARD, R-20 CAVITY INSULATION, VAPOR BARRIER ON INTERIOR FACE AND FINISHES
	(N) 2X6 INTERIOR WALL, FIRE RATED	(N) 2X6 WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" ON ONE SIDE & GYPSUM BOARD ON THE OTHER SIDE. MINERAL WOOD INSULATION
	(N) 2X6 WET WALL	(N) 2X6 WOOD WALL @ 16" O.C. W/SOUND INSULATION, BLUE BOARD ON THE WET SIDE AND GYPSUM BOARD ON DRY SIDE
	ROOM DIVIDER	FOR AREA CALCULATION PURPOSES
	(N) 2X4 INTERIOR STUD WALL	(N) 2X4 STUD WALL @ 16" O.C. WITH G.W.B. ON EACH SIDE
	(N) 2X4 WET WALL	(N) 2X4 STUD WALL @ 16" O.C. WITH BLUE BOARD ON WET SIDE & GYPSUM BOARD ON DRY SIDE
	DECK RAILING/ FENCE	TO OWNER / CONTRACTOR
	INTERIOR RAILING	TO OWNER / CONTRACTOR
	(N) 2X4 INTERIOR STUD WALL	FOR AREA CALCULATION PURPOSES
	DECK RAILING/ FENCE	TO OWNER / CONTRACTOR



SCOPE OF WORK - FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"

214 HAMILTON STREET
WORCESTER
AREA CALCULATION & BEDROOMS COUNT

LEVEL	UNIT	CONDITION	TYPE	AREA (SF)	SUB-TOTAL	TOTAL	BEDROOM	SUBTOTAL	TOTAL		
FIRST FLOOR	101	EXISTING	4-BEDROOM	1,148.03	2,341.73	11,511.78	4	7	26		
	102	NEW	3-BEDROOM	1,193.70			3				
SECOND FLOOR	201	EXISTING	3-BEDROOM	1,410.55	2,539.54			3		6	
	202	NEW	3-BEDROOM	1,128.99				3			
THIRD FLOOR	301	EXISTING	4-BEDROOM	1,478.99	2,607.98			4		7	
	302	NEW	3-BEDROOM	1,128.99				3			
FOURTH FLOOR	401	EXISTING	3-BEDROOM	1,478.40	2,607.39			3		6	
	402	NEW	3-BEDROOM	1,128.99				3			
1 COMMON AREAS				EXISTING	110.86		1,415.14				
2 COMMON AREAS				EXISTING	245.97						
3 COMMON AREAS				EXISTING	159.42						
4 COMMON AREAS				EXISTING	208.65						
5 COMMON AREAS				EXISTING	135.65						
6 COMMON AREAS				NEW	207.76						
7 COMMON AREAS				EXISTING	138.07						
8 COMMON AREAS				NEW	207.76						
TOTAL						11,511.78					

- NOTES:**
- ALL SMOKE & CARBON MONOXIDE DETECTORS TO BE HARD WIRED AND OF THE "PHOTOELECTRIC" TYPE AS PER CODE.
 - NEW LIFE SENSOR THROUGHOUT THE BUILDING. EXISTING SENSORS TO BE REMOVE AND REPLACE FOR NEW ONES TIED INTO THE SAME HARDWIRE SYSTEM AS THE NEW ADDITION.
 - ALL BATHROOM SHALL HAVE FAN/LIGHTS VENTED TO EXTERIOR AS PER CODE.
 - DIMENSIONS ARE FROM FACE TO FACE OF STUD
 - KITCHEN HOOD M1503.4 SIZE - MAKEUP AIR REQUIRED IF ABOVE 400 CFM
 - ALL DETECTION DEVICES MUST BE HARD WIRED AC POWER WITH BATTERY BACKUP

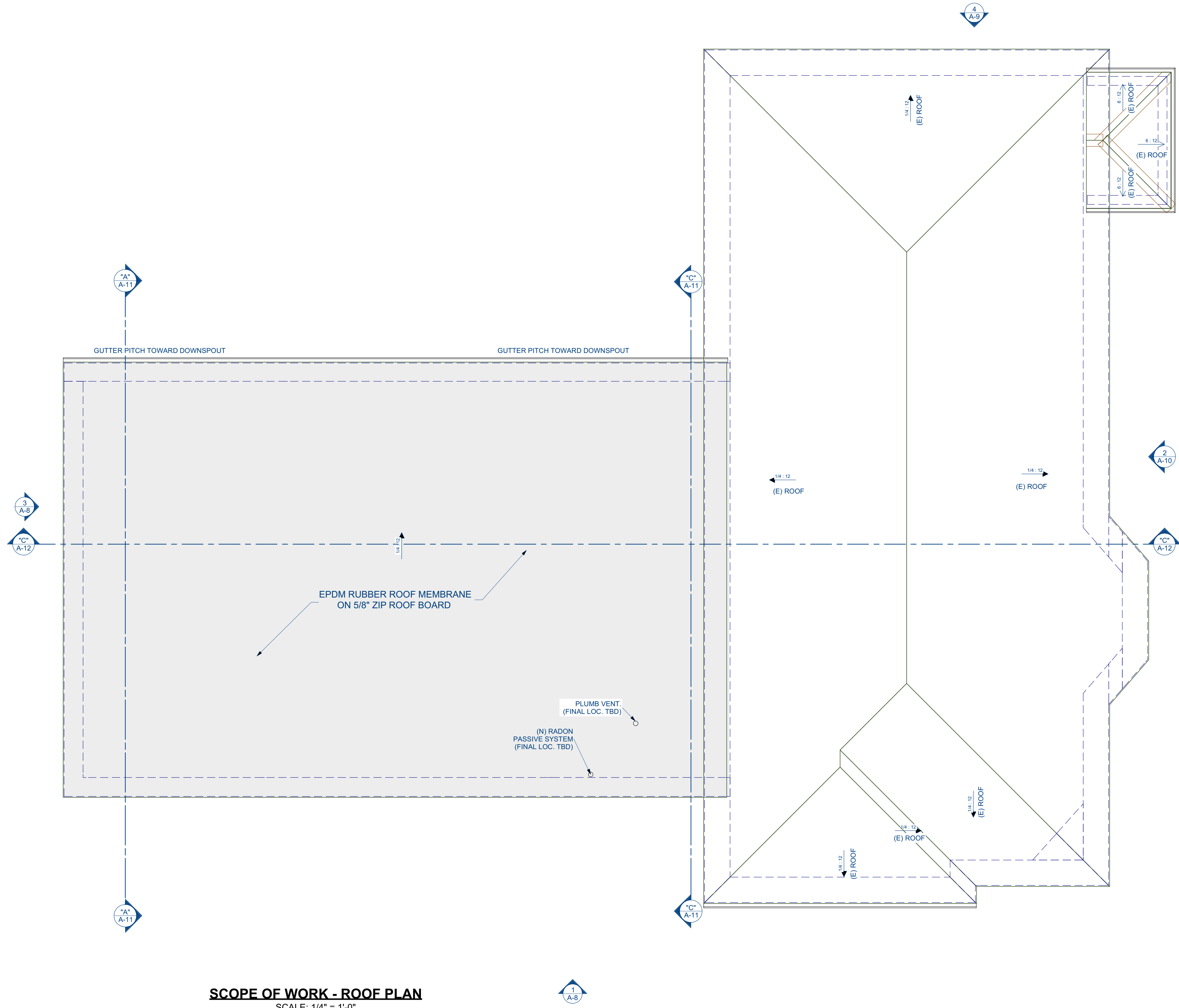
REVISION TABLE		
NO.	DATE	DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

DRAWING NAME:
SCOPE OF WORK - FOURTH FLOOR PLAN

PROJECT NUMBER: 22-115
DRAWN BY: RH/AA/DD
SCALE: AS NOTED
DATE: 2/26/2024

SHEET NUMBER:
A-5



SCOPE OF WORK - ROOF PLAN
 SCALE: 1/4" = 1'-0"

REVISION TABLE		
NO.	DATE	DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

DRAWING NAME:
SCOPE OF WORK - ROOF PLAN

PROJECT NUMBER: 22-115
 DRAWN BY: RH/AA/DD
 SCALE: AS NOTED
 DATE: 2/26/2024

SHEET NUMBER:
A-6

- NOTES:**
1. ALL SMOKE & CARBON MONOXIDE DETECTORS TO BE HARD WIRED AND OF THE "PHOTOELECTRIC" TYPE AS PER CODE.
 2. NEW LIFE SENSOR THROUGHOUT THE BUILDING. EXISTING SENSORS TO BE REMOVE AND REPLACE FOR NEW ONES TIED INTO THE SAME HARDWIRE SYSTEM AS THE NEW ADDITION.
 3. ALL BATHROOM SHALL HAVE FANLIGHTS VENTED TO EXTERIOR AS PER CODE.
 4. DIMENSIONS ARE FROM FACE TO FACE OF STUD
 5. KITCHEN HOOD M1503.4 SIZE - MAKEUP AIR REQUIRED IF ABOVE 400 CFM
 6. ALL DETECTION DEVICES MUST BE HARD WIRED AC POWER WITH BATTERY BACKUP



PROPOSED - RENDERINGS
SCALE: NOT TO SCALE

PROJECT NAME:
ADDITION
MULTI-FAMILY BUILDING
214 HAMILTON STREET
WORCESTER, MA



774-262-3187
5 Brussels Street
Building A, Rear 2nd Floor
Worcester MA 01610
(D) 774-262-3187
(O) 774-243-6161
Info@acropolisdesign.org



103 Palms Street 01605
Worcester, MA
Telephone: 508-859-8988
E-mail: D22Architect@aol.com

REVISION TABLE		
NO.	DATE	DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

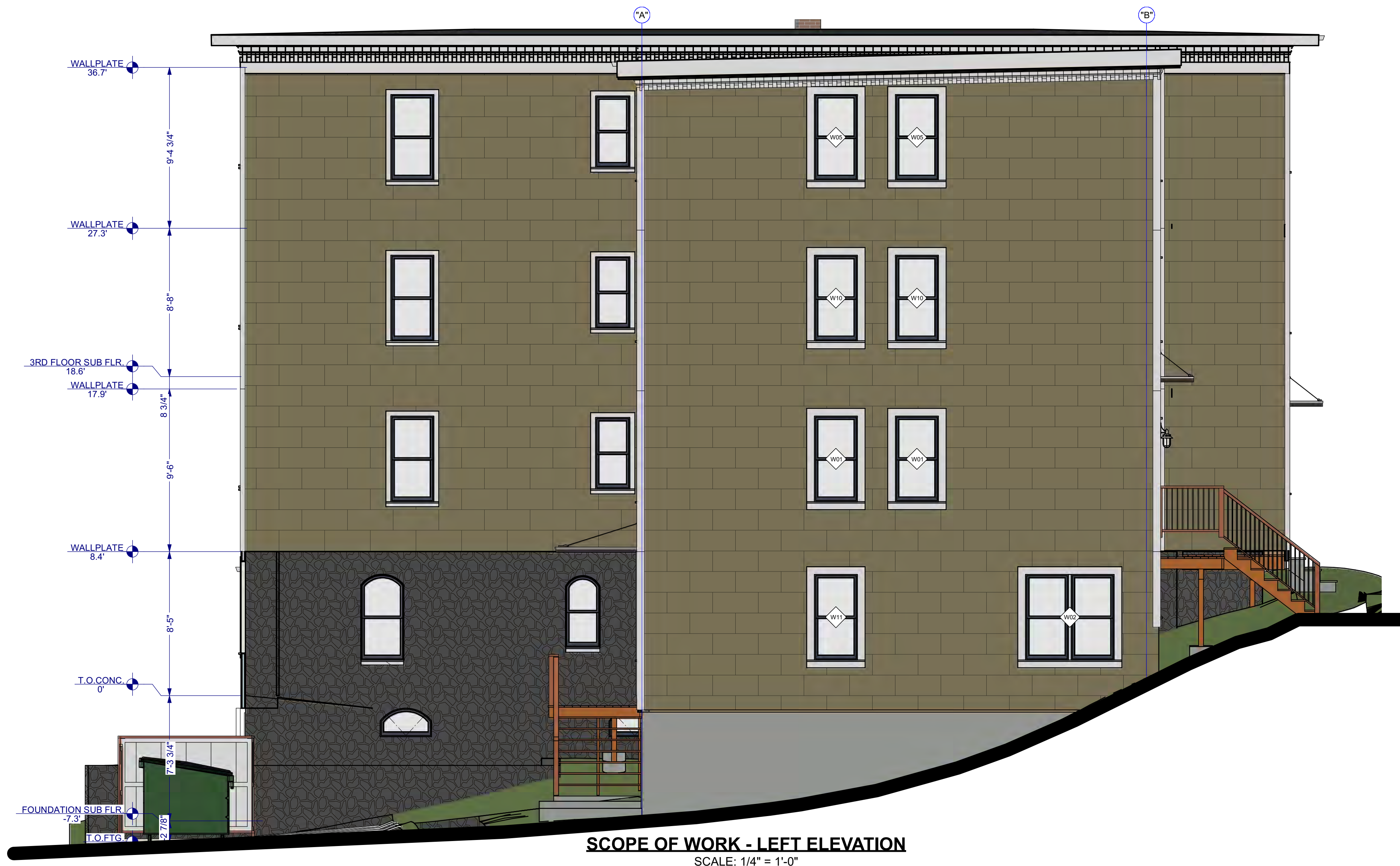
DRAWING NAME:
PROPOSED - RENDERINGS

PROJECT NUMBER: 22-115	DRAWN BY: RH/AA/DD
SCALE: AS NOTED	DATE: 2/26/2024

SHEET NUMBER:
A-7



SCOPE OF WORK - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



SCOPE OF WORK - LEFT ELEVATION
SCALE: 1/4" = 1'-0"

- DOOR AND WINDOW NOTES:**
- EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPERABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPERABLE AREA LESS THAN 20" WIDE OR 24" HIGH.
 - ALL WALK-THRU DOORS SHALL BE SOLID CORE
 - INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR TO ORDERING
 - EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANEL SAFETY GLASS WITH MIN. U-VALUE OF 0.60
- FLOORS AND ROOFS**
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
 - PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.
 - SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.
 - THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL
- FINISH NOTES:**
- RENDERINGS ARE NOT TO SCALE. ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.
 - BASE BOARDS SHALL BE 6" IN ALL ROOMS.
 - FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER PRIOR TO APPLICATION.
- EXTERIOR NARRATIVE:**
- INSPECT SIDING, IF DAMAGED THEN REMOVE AND REPLACE WITH MATCHING VINYL SIDING.
 - MATCH SIDING ON ALL NEW INFILLED AREAS.
 - REMOVE EXISTING PORCH WINDOWS AND ADD NEW OPENING TO CREATE OPEN PORCH.
 - VERIFY DRAINAGE OF EXISTING PORCH OR INSTALL NEW SCUPPERS.
 - INSPECT DENTAL ON EXISTING BUILDING, IF DAMAGED THEN REMOVE AND REPLACE WITH SIMILAR STYLE
 - NEW DENTAL AROUND NEW ADDITION TO MATCH EXISTING
 - ANY ADDITIONAL SCOPE TO BE REQUIRED SHALL BE COORDINATED WITH DESIGNER.
- WINDOWS NOTE:**
- IF AN OPERABLE WINDOW IS LOCATED LESS THAN 24" ABOVE FINISH FLOOR (A.F.F.), MUST HAVE A WINDOW FALL PROTECTION DEVICE AS PER R312.2

PROJECT NAME:
ADDITION
MULTI-FAMILY BUILDING
214 HAMILTON STREET
WORCESTER, MA

ACROPOLIS
DESIGN CONSULTANTS
774-262-3187
5 Brussels Street
Building A, Rear 2nd Floor
Worcester, MA 01610
(D) 774-262-3187
(O) 774-243-6161
Info@acropolisdesign.org

Dimensions
Architecture / Design
100 Palm Street, 01605
Worcester, MA
Telephone: 508-859-0888
E-mail: D22Architect@aol.com

REVISION TABLE

NO.	DATE	DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

DRAWING NAME:
SCOPE OF WORK - FRONT & LEFT ELEVATION

PROJECT NUMBER: 22-115
SCALE: AS NOTED
DRAWN BY: RH/AA/DD
DATE: 2/26/2024

SHEET NUMBER:
A-8



SCOPE OF WORK - REAR ELEVATION
SCALE: 1/4" = 1'-0"

DOOR AND WINDOW NOTES:

- EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPERABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPERABLE AREA LESS THAN 20" WIDE OR 24" HIGH.
- ALL WALK-THRU DOORS SHALL BE SOLID CORE
- INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR TO ORDERING
- EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANEL SAFETY GLASS WITH MIN. U-VALUE OF 0.60

FLOORS AND ROOFS

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THEN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- PROVIDE INSULATION Baffles AT EAVE VENTS BETWEEN RAFTERS.
- SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.
- THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL

FINISH NOTES:

- RENDERINGS ARE NOT TO SCALE. ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.
- BASE BOARDS SHALL BE 6" IN ALL ROOMS.
- FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER PRIOR TO APPLICATION.

EXTERIOR NARRATIVE:

- INSPECT SIDING, IF DAMAGED THEN REMOVE AND REPLACE WITH MATCHING VINYL SIDING.
- MATCH SIDING ON ALL NEW INFILLED AREAS.
- REMOVE EXISTING PORCH WINDOWS AND ADD NEW OPENING TO CREATE OPEN PORCH.
- VERIFY DRAINAGE OF EXISTING PORCH OR INSTALL NEW SCUPPERS.
- INSPECT DENTAL ON EXISTING BUILDING, IF DAMAGED THEN REMOVE AND REPLACE WITH SIMILAR STYLE
- NEW DENTAL AROUND NEW ADDITION TO MATCH EXISTING
- ANY ADDITIONAL SCOPE TO BE REQUIRED SHALL BE COORDINATED WITH DESIGNER.

WINDOWS NOTE:

IF AN OPERABLE WINDOW IS LOCATED LESS THAN 24" ABOVE FINISH FLOOR (A.F.F.), MUST HAVE A WINDOW FALL PROTECTION DEVICE AS PER R312.2

PROJECT NAME:
ADDITION
MULTI-FAMILY BUILDING
214 HAMILTON STREET
WORCESTER, MA

ACROPOLIS
DESIGN CONSULTANTS
774-262-3187
5 Brussels Street
Building A, Rear 2nd Floor
Worcester, MA 01610
(D) 774-262-3187
(O) 774-243-6161
Info@acropolisdesign.org

Dimensions
Architecture / Design
103 Palm Street, 01605
Worcester, MA
Telephone: 508-859-8988
E-mail: D22Architect@aol.com

REVISION TABLE	
NO.	DATE / DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

DRAWING NAME:
SCOPE OF WORK - RIGHT ELEVATION

PROJECT NUMBER: 22-115
SCALE: AS NOTED
DRAWN BY: RH/AA/DD
DATE: 2/26/2024

SHEET NUMBER:
A-9



EXISTING ROOF DENTAL
SCALE: NOT TO SCALE



PROPOSED DENTAL TRIM
SCALE: NOT TO SCALE



SCOPE OF WORK - RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

DOOR AND WINDOW NOTES:

- EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPERABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPERABLE AREA LESS THAN 20" WIDE OR 24" HIGH.
- ALL WALK-THRU DOORS SHALL BE SOLID CORE
- INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR TO ORDERING
- EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANEL SAFETY GLASS WITH MIN. U-VALUE OF 0.60

FLOORS AND ROOFS

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- PROVIDE INSULATION Baffles AT EAVE VENTS BETWEEN RAFTERS.
- SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.
- THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL

FINISH NOTES:

- RENDERINGS ARE NOT TO SCALE. ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.
- BASE BOARDS SHALL BE 6" IN ALL ROOMS.
- FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER PRIOR TO APPLICATION.

EXTERIOR NARRATIVE:

- INSPECT SIDING, IF DAMAGED THEN REMOVE AND REPLACE WITH MATCHING VINYL SIDING.
- MATCH SIDING ON ALL NEW INFILLED AREAS.
- REMOVE EXISTING PORCH WINDOWS AND ADD NEW OPENING TO CREATE OPEN PORCH.
- VERIFY DRAINAGE OF EXISTING PORCH OR INSTALL NEW SCUPPERS.
- INSPECT DENTAL ON EXISTING BUILDING, IF DAMAGED THEN REMOVE AND REPLACE WITH SIMILAR STYLE
- NEW DENTAL AROUND NEW ADDITION TO MATCH EXISTING
- ANY ADDITIONAL SCOPE TO BE REQUIRED SHALL BE COORDINATED WITH DESIGNER.

WINDOWS NOTE:

IF AN OPERABLE WINDOW IS LOCATED LESS THAN 24" ABOVE FINISH FLOOR (A.F.F.), MUST HAVE A WINDOW FALL PROTECTION DEVICE AS PER R312.2

PROJECT NAME:
ADDITION
MULTI-FAMILY BUILDING
214 HAMILTON STREET
WORCESTER, MA

ACROPOLIS
DESIGN CONSULTANTS
774-262-3187
5 Brussels Street
Building A, Rear 2nd Floor
Worcester MA 01610
(D) 774-262-3187
(O) 774-243-6161
Info@acropolisdesign.org

Dimensions
Architecture / Design
100 Palm Street, 01605
Worcester, MA
Telephone: 508-859-8988
E-mail: D22Architect@aol.com

REVISION TABLE		
NO.	DATE	DESCRIPTION

STAMP:
PROGRESS SET FOR ZONING BOARD OF APPEALS USE ONLY

DRAWING NAME:
SCOPE OF WORK - RIGHT ELEVATION

PROJECT NUMBER: 22-115
SCALE: AS NOTED
DRAWN BY: RH/AA/DD
DATE: 2/26/2024

SHEET NUMBER:
A-10